



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Natural Resources

DIVISION OF MINING, LAND & WATER

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July 29, 2025

Chelsey Okonek
Property Manager
UA Land Management Office
1835 Bragaw St. Ste. #490
Anchorage, AK 99508

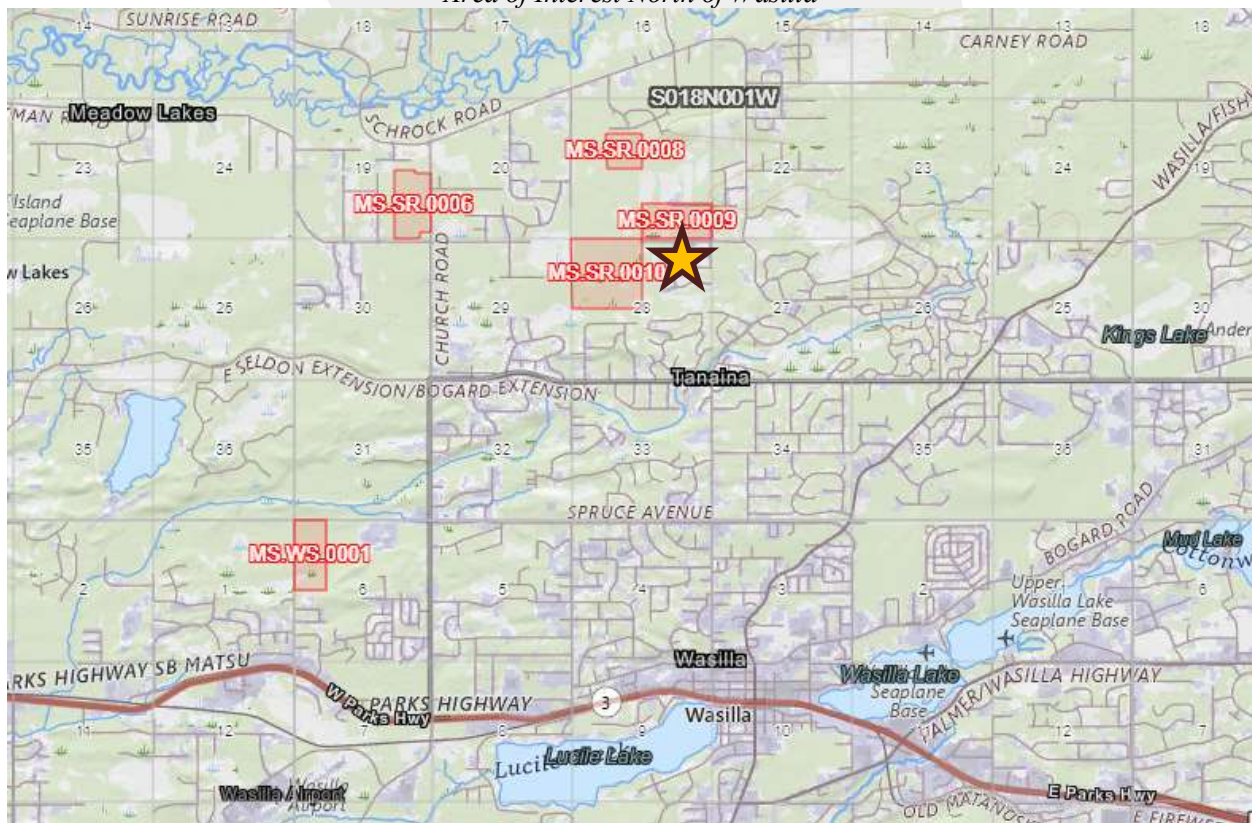
File: **MS.SR.0009** Preliminary Development Considerations
Located within Section 21, T. 18 N., R 1 W., S.M.

Dear Ms. Okonek,

In response to your inquiry about development of this parcel north of Wasilla, we performed a field inspection on July 1, 2025. We have also reviewed record information regarding wetlands designation, soil types, zoning, and subdivision regulations.

This parcel lies about 3 miles north of downtown Wasilla and is currently best accessed via W. Faith Road from the north and W. Wilmington Drive from the south.

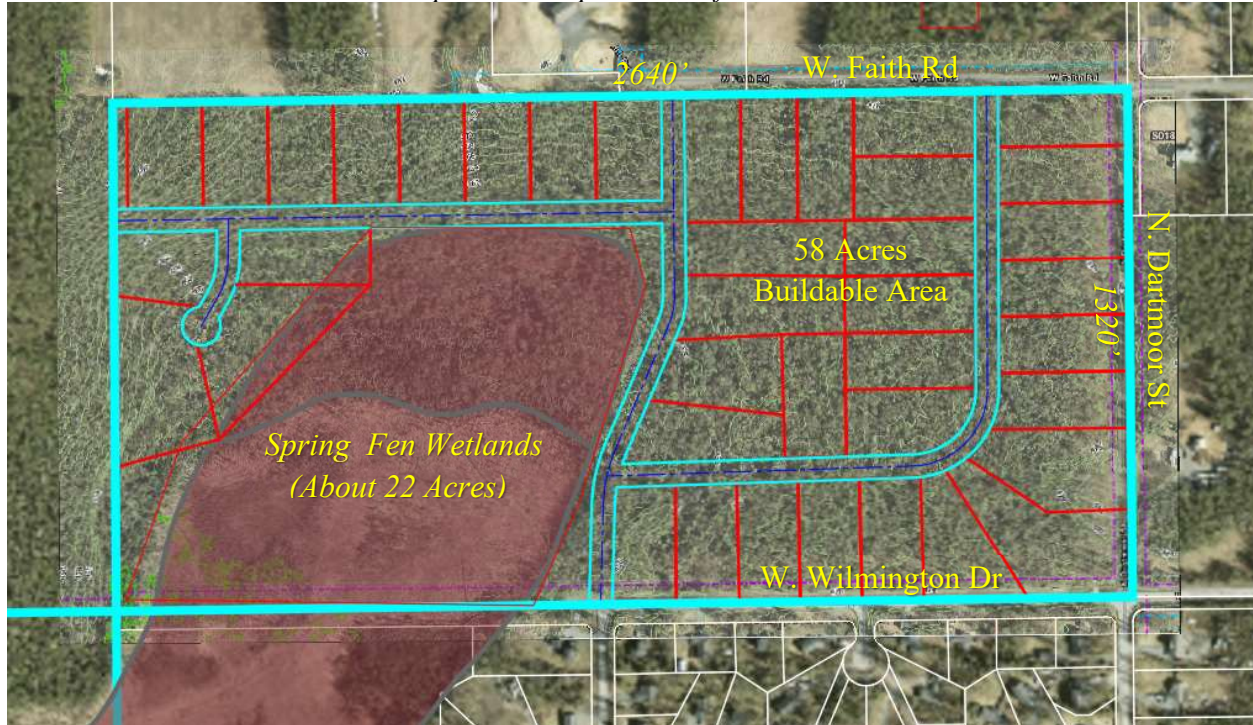
Area of Interest North of Wasilla



Road Access

Road Access exists via N. Dartmoor St (Section Line Easement), W. Wilmington Dr (Section Line Easement and Dedication), and W. Faith Rd (60' Public Use Easement). We propose access from W. Faith Rd and W. Wilmington Dr as shown below.

Conceptual Development Plan for MS.SR.0009



Lot Yield

MS.SR.0009 is approximately 80 acres in size, comprising about 22 acres of wetlands and 58 acres of buildable area. As shown in the conceptual design above, lot yield would be approximately 40 lots, each about 1 acre in size. Spring Fen Wetlands exist in the western portion of the parcel and should be avoided for road construction and house sites. Soils are Kashwitna Silt Loam, suitable for subdivision development of the type under consideration.

Economic Discussion

Our conceptual design proposes 40 lots with approximately 5,000 feet of road construction. 40 lots at \$37,000/lot produces about \$1.48 million in gross lot revenue. We think gravel road construction would be on the order of \$180/lineal foot including engineering costs, for about \$900,000 in road construction costs. This could vary substantially depending on the location of suitable material and hauling costs and should be refined by discussion with active contractors in the area. Engineering costs within MSB typically include a preliminary drainage plan, subdivision construction plan, material gradation test, final drainage report, final report, geotechnical investigation, and soils investigation for septic suitability. So in addition to the engineering costs already wrapped into the road construction estimate above, we could expect another \$25,000 or so in engineering costs. Surveying costs would be on the order of \$65,000. MSB fees would be \$16,000 to \$18,000 for the Pre-application conference, Regular Plat, Final Plat, and Road Inspection <https://matsugov.us/platting/platting-fees>. This cost would vary with actual lot number and the actual cost of road construction. (The Road Inspection fee is 1% of construction cost.)

Facing South Along N. Dartmoor St, MS.SR.0009 to the Right



Facing West Along W. Faith Rd, MS.SR.0009 to the Left



Trail Within MS.SR.0009, Typical Vegetation in the Buildable Area



Final Summary

This parcel has high development potential. Antoni Estates (immediately to the southeast) was subdivided into ~1-acre lots in 2012 and is fully developed. Neighboring Westwood Subdivision Phase II (to the south) was developed nearly 30 years ago into much smaller lots (averaging around 0.6 acres), but this seems to necessitate reliance on a community water supply system, with no individual water wells allowed (see attached plats).

In short, terrain, soils, and location all combine to make this parcel attractive for development.

Please contact me if you have any questions or comments, or if you would like us to investigate this in further detail.

Sincerely,
David Ciampa, PLS
Land Surveyor 2

Copy: Ryan Quigley, DNR Land Survey Manager 1
Amy Helkenn, DNR Land Survey Specialist 2