

GENERAL NOTES

WORK INCLUDED IN THIS PROJECT IS SEPARATED INTO (5) SEGMENTS:

1. BASE BID:
 - a) REMOVE AND REPLACE INSULATION, MEMBRANE AND CONCRETE PAVING SURFACE WITH ASSOCIATED DRAINS, JOINTS, FLASHING, AND SEALANTS IN DESIGNATED AREA AS SHOWN IN PARTIAL PLAN OF 1/GA2.
 - b) REMOVE AND REPLACE THE CONCRETE WALKWAY OUTSIDE THE S.W. STAIR TOWER AS SHOWN IN PARTIAL PLAN OF 6/GA4.
 - c) MOVE PERIMETER GUARDRAIL WITH ASSOCIATED ELECTRICAL EQUIP. AS SHOWN IN DETAILS 1 & 2 ON SHEET GA5.
2. ADDITIVE ALTERNATE #1:
 - a) REMOVE AND REPLACE OR REPAIR METAL FLASHING AS SHOWN ON SHT GA1.
 - b) RESEAL ALL FLASHING FOR A COMPLETE WEATHER SEAL SYSTEM. THIS INCLUDES JOISTS BTWN FLASHINGS AND FLASHING TO SUBSTRATE SURFACES.
3. ADDITIVE ALTERNATE #2:
 - a) ROUTE OUT AND SEAL 500 LINEAL FT. OF CRACK IN EXISTING UPPER LEVEL CONCRETE PAVING SURFACE AS SHOWN IN DETAIL 4/GA1.
4. ADDITIVE ALTERNATE #3:
 - a) ADD NEW CONCRETE WALKWAY W/ CURB AND FLASHING OUTSIDE THE N.W. STAIR TOWER AS SHOWN IN PARTIAL PLAN OF 5/GA4.
5. ADDITIVE ALTERNATE #4:
 - a) MECHANICALLY CLEAN LOOSE RUST & CORROSION OFF HORIZONTAL GIRTS AND SIDING NEAR 2nd LEVEL EAST EXIT STAIRS. PRIME & REPAINT AS SHOWN IN PARTIAL WALL ELEVATION OF 9/GA5.

STRUCTURAL CONCRETE

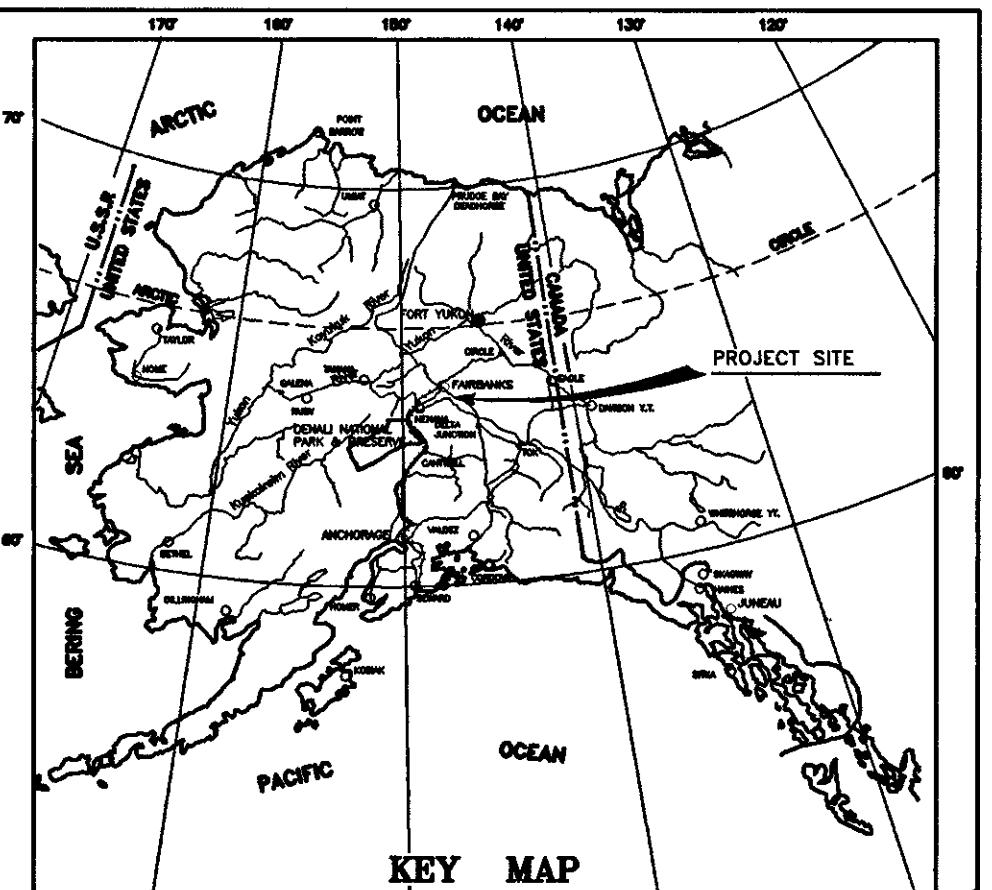
1. CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
2. ALL CONCRETE SHALL CONTAIN AN APPROVED AIR-ENTRAINING ADMIXTURE AND AN APPROVED WATER REDUCING ADMIXTURE.
3. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO THE STANDARDS OF ASTM A615, GRADE 60.
4. ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318, AND THE "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES", ACI 315.
5. CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAILS, INCLUDING STEEL SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW PRIOR TO FABRICATION.
6. MAXIMUM SLUMP SHALL BE 4 INCHES FOR SLABS, UNLESS OTHERWISE SPECIFIED.
7. MINIMUM CONCRETE COVER SHALL BE 1 $\frac{1}{2}$ " IN SLABS.
8. WHEN CASTING NEW CONCRETE AGAINST EXISTING CONCRETE, CLEAN EXISTING CONCRETE SURFACE BY MECHANICAL ABRASION USING SANDBLASTING, WATERBLASTING, OR OTHER APPROVED MEANS. APPLY BONDING AGENT.
9. INSTALL JOINT SEALANTS PER MFG. RECOMMENDATIONS INCLUDING MECH. ABRASION CLEANING, SURFACE PRIMING, AND MIN. JOINT WIDTHS.

BUILT UP ROOFING

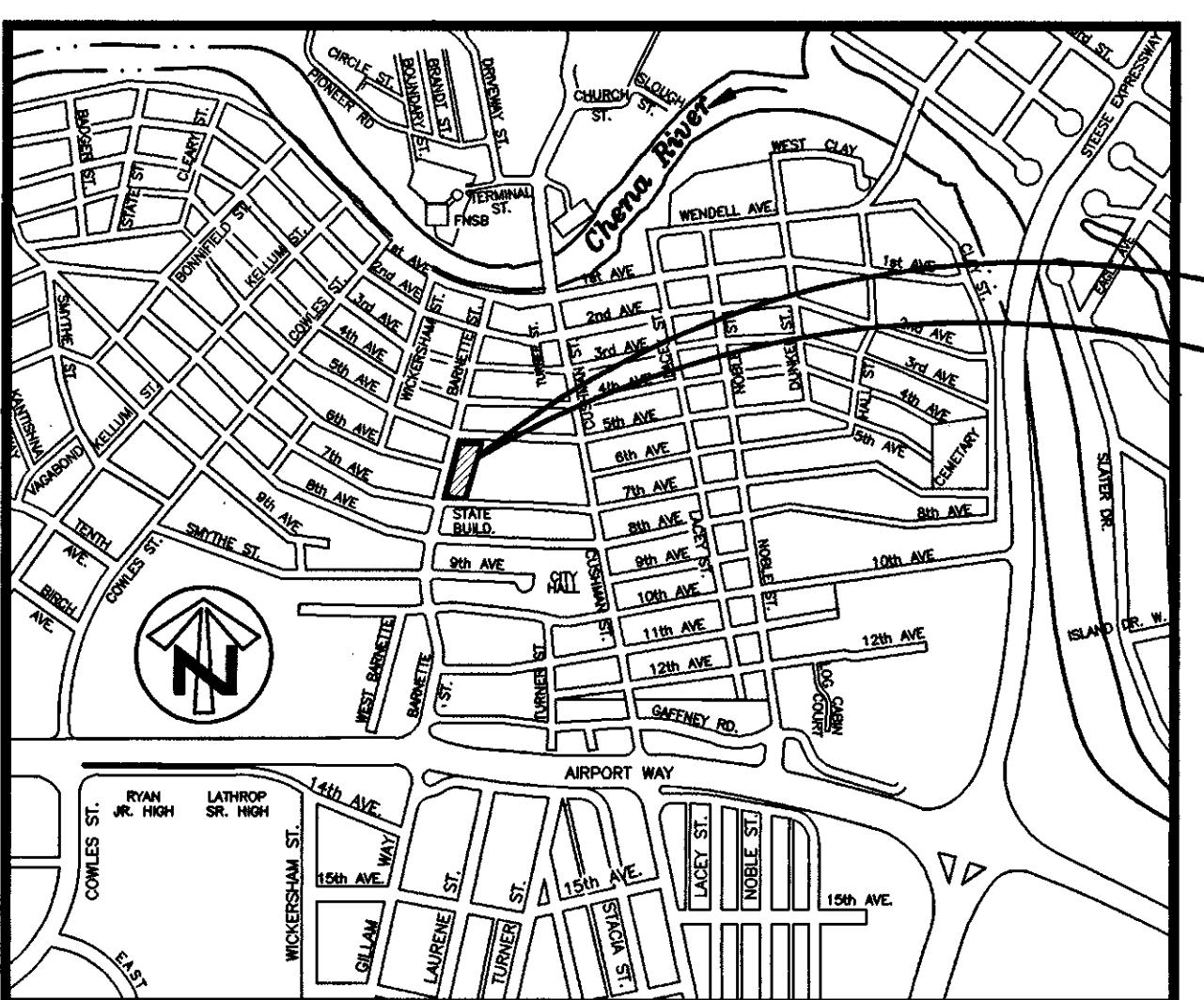
1. BUILT UP ROOFING SYSTEM SHALL CONSIST OF 4 PLIES OF ASPHALT FELTS OVER $\frac{1}{2}$ " WOOD FIBER BOARD.
2. FIBER BOARD SHALL COMPLY WITH ASTM C 208 TYPE A-2.
3. ASPHALT, GLASS-FIBER FELT SHALL COMPLY WITH ASTM D 2178, TYPE IV.
4. ROOFING ASPHALT SHALL COMPLY WITH ASTM D 312, TYPE III.
5. HEAT AND APPLY BITUMEN ACCORDING TO EVT METHOD AS RECOMMENDED BY NRCA.

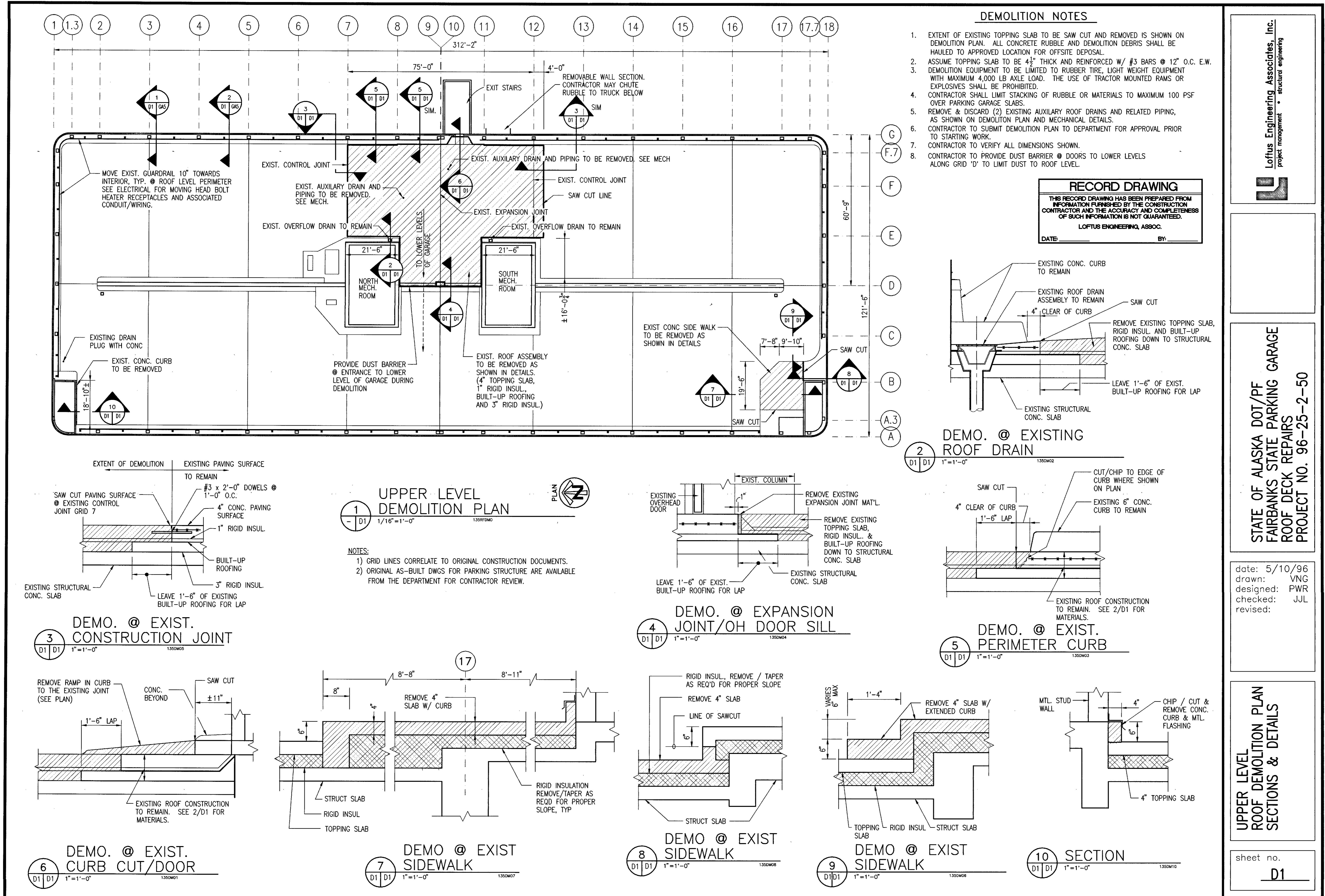
ABBREVIATIONS

EXIST.	EXISTING
CJ.	CONTROL JOINT
OPP.	OPPOSITE
DEMO.	DEMOLISH
SIM.	SIMILAR
TYP.	TYPICAL
HSP.	HARRY S. PETERSEN
EQ.	EQUAL
APPRO.	APPROVED
W/	WITH
REIN.	REINFORCE
EA.	EACH
O.C.	ON CENTER
LIN.	LINEAL
FT.	FEET
BUR.	BUILT UP ROOFING
GA.	GAGE
MTL.	METAL



STATE OF ALASKA







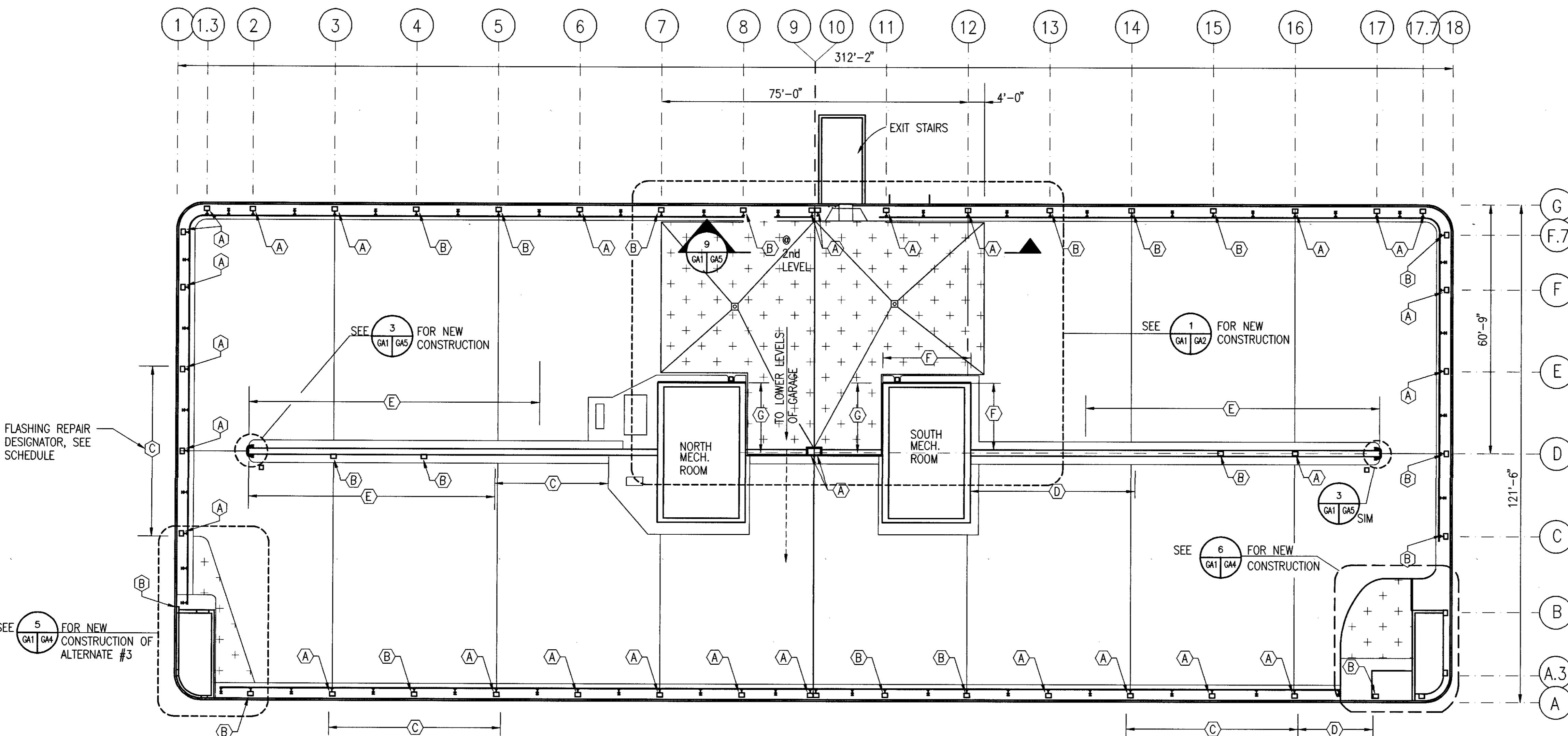
STATE OF ALASKA DOT/PF
FAIRBANKS STATE PARKING GARAGE
ROOF DECK REPAIRS
PROJECT NO. 96-25-2-50

date: 5/10/96
drawn: VNG
designed: PWR
checked: JJL
revised:

AS-BUILT
SEPT 1996

UPPER LEVEL PLAN
FLASHING REPAIR SCHEDULE & DETAILS

sheet no.
GA1



RECORD DRAWING
THIS RECORD DRAWING HAS BEEN PREPARED FROM
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DATE: _____ BY: _____

ALTERNATE #1
FLASHING REPAIR SCHEDULE

MARK	DESCRIPTION	DETAIL	QUANTITY
(A)	REMOVE & REPLACE COLUMN FLASHING	6/GA3	31
(B)	SEAL & REFASTEN COLUMN FLASHING	6/GA3	19
(C)	REMOVE & REPLACE CURB FLASHING	2/GA1	150 LIN. FT.
(D)	REMOVE & REPLACE CURB FLASHING	3/GA3	60 LIN. FT.
(E)	SEAL & REFASTEN CURB FLASHING	3/GA3	200 LIN. FT.
(F)	REMOVE & REPLACE CURB FLASHING	8/GA3	40 LIN. FT.
(G)	REMOVE & REPLACE WALL FLASHING	3/GA1	36 LIN. FT.

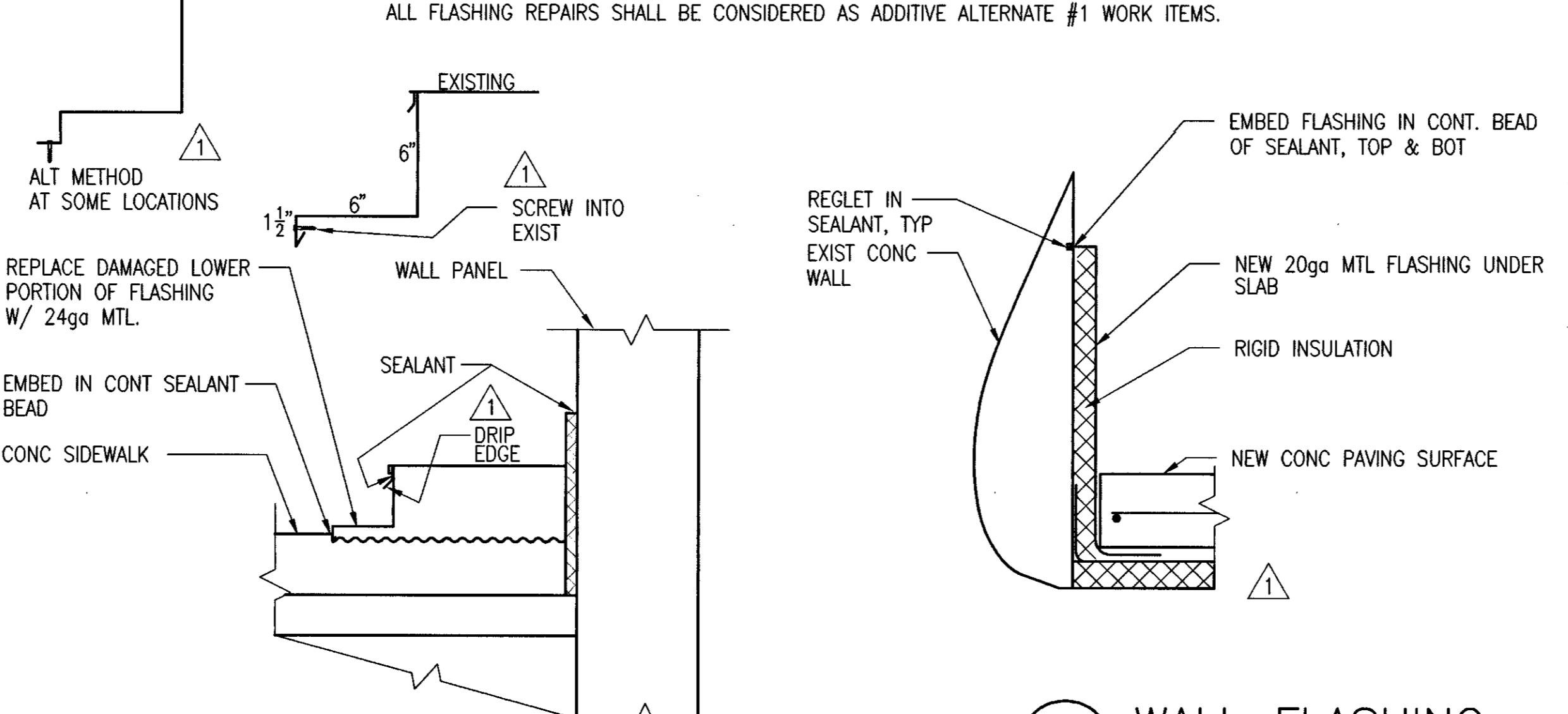
1 UPPER LEVEL PLAN

- GA1 1/16" = 1'-0"

135RFDMO

PLAN

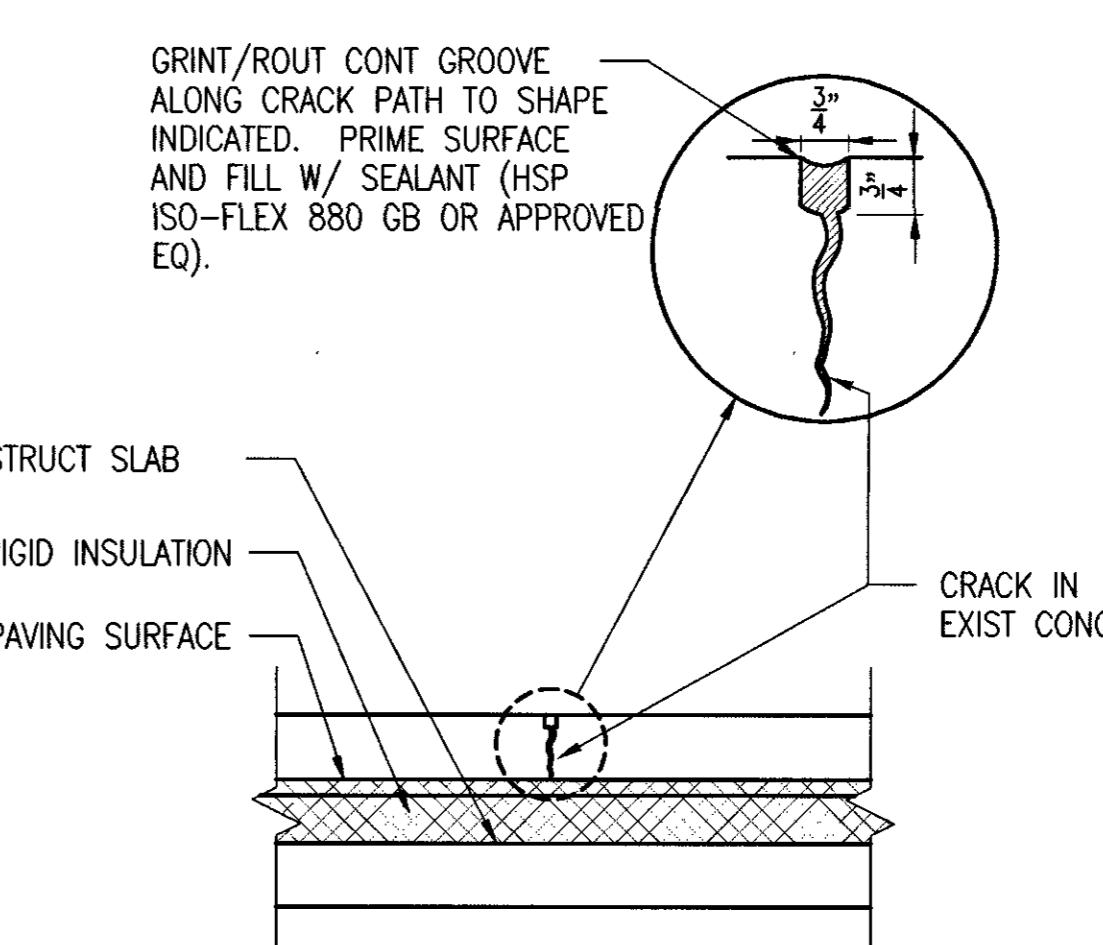
NOTE:
ALL FLASHING REPAIRS SHALL BE CONSIDERED AS ADDITIVE ALTERNATE #1 WORK ITEMS.



2 CURB FLASHING

- GA1 1" = 1'-0"

13540702



NOTE:
ALL ROUTING/GRINDING & SEALING OF CRACKS IN EXISTING CONC PAVING SURFACE
SHALL BE CONSIDERED AS ADDITIVE ALTERNATE #2 WORK ITEMS. THE DEPARTMENT
WILL DESIGNATE THE LOCATION AND EXTENT OF CRACKS TO BE REPAIRED, NOT TO
EXCEED 500 LINEAL FEET.

3 WALL FLASHING

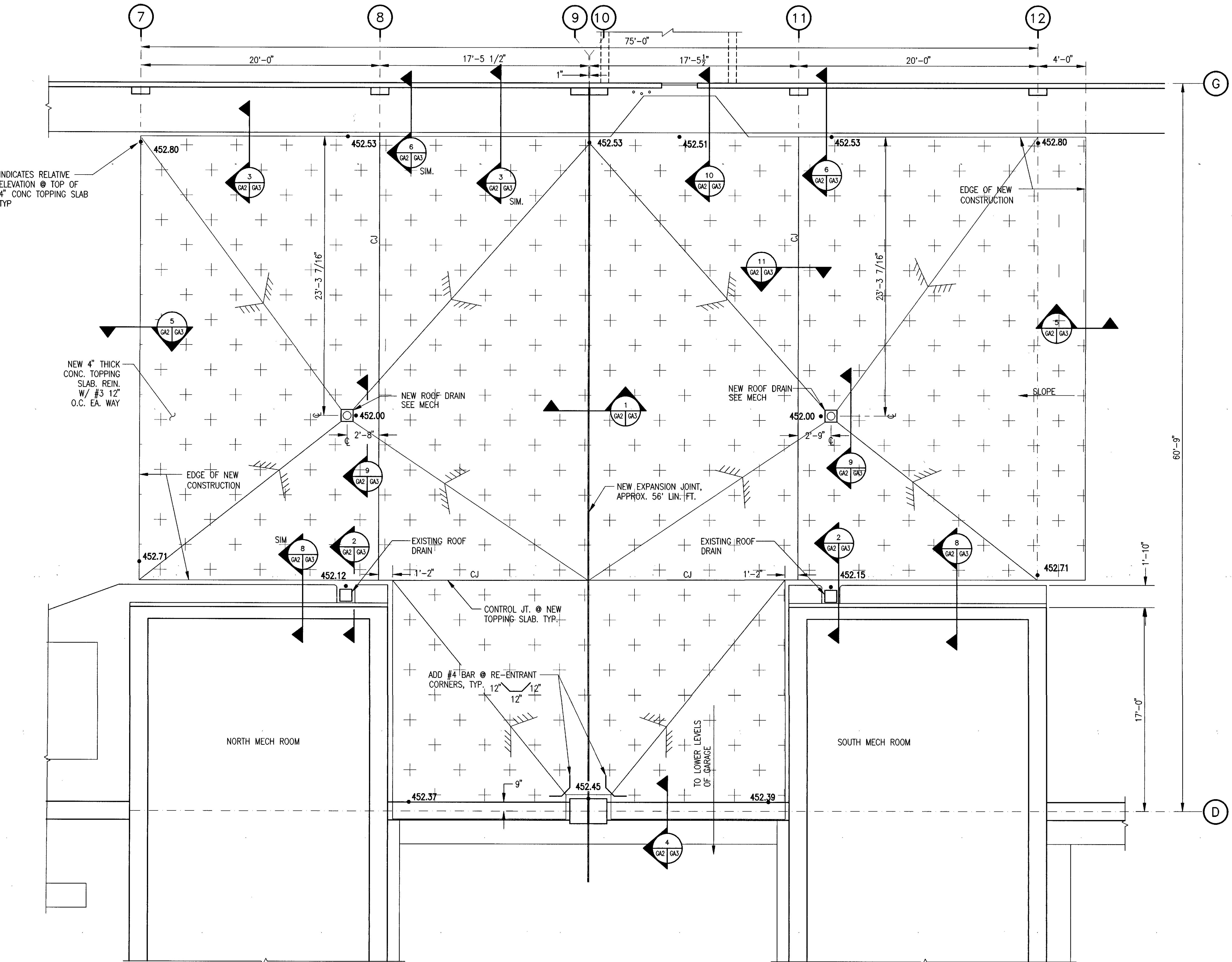
- GA1 1 1/2" = 1'-0"

13540703

4 ALTERNATE #2
TYP CRACK REPAIR

- GA1 1" = 1'-0"

13540704



PARTIAL ROOF PLAN TOPPING SLAB RENOVATION

GA1 GA2 1/4" = 1'-0"

135RP03

1

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sheet no. **GA2**

GA2

GA2

Loftus Engineering Associates, Inc.
project management • structural engineering

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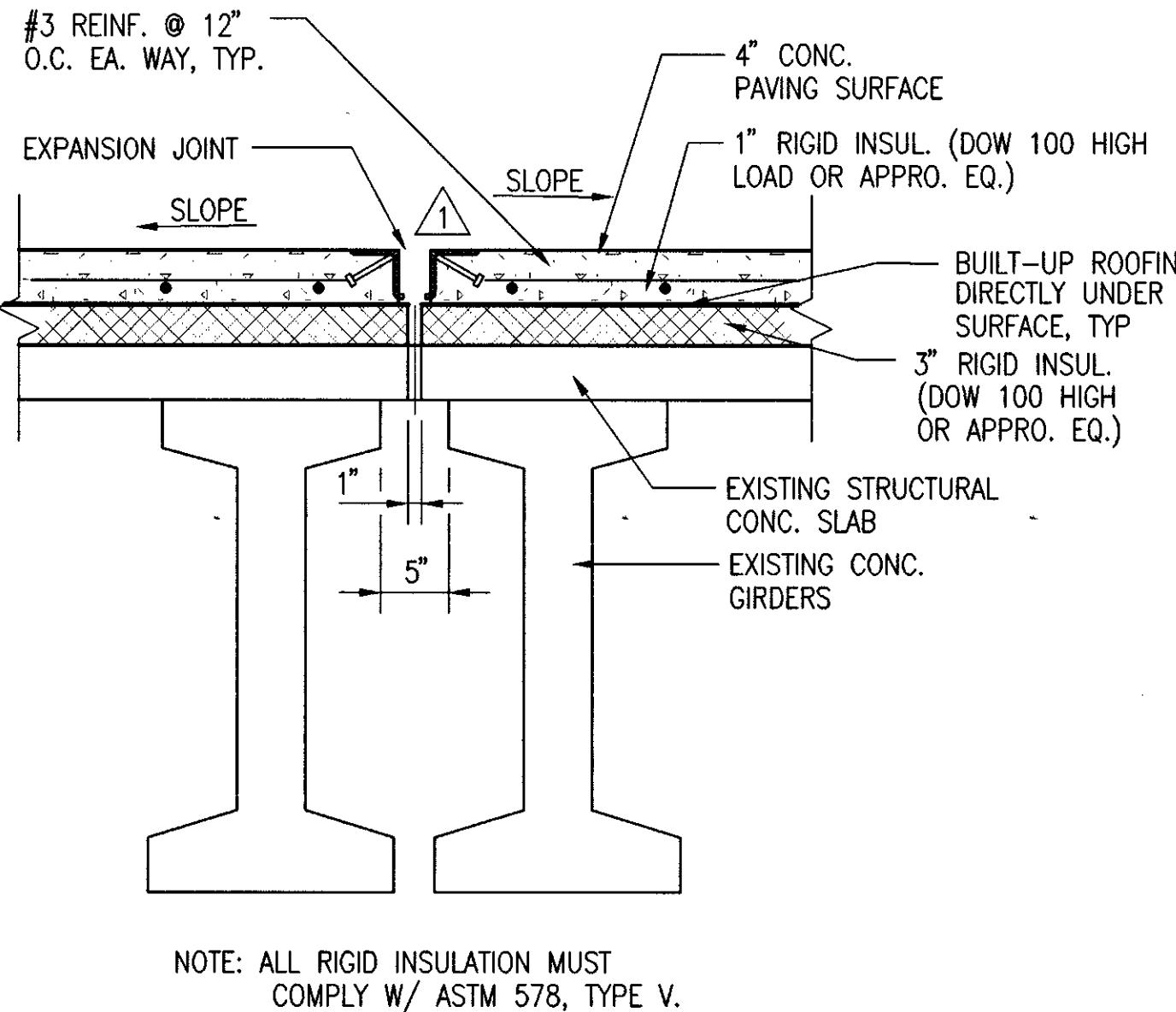
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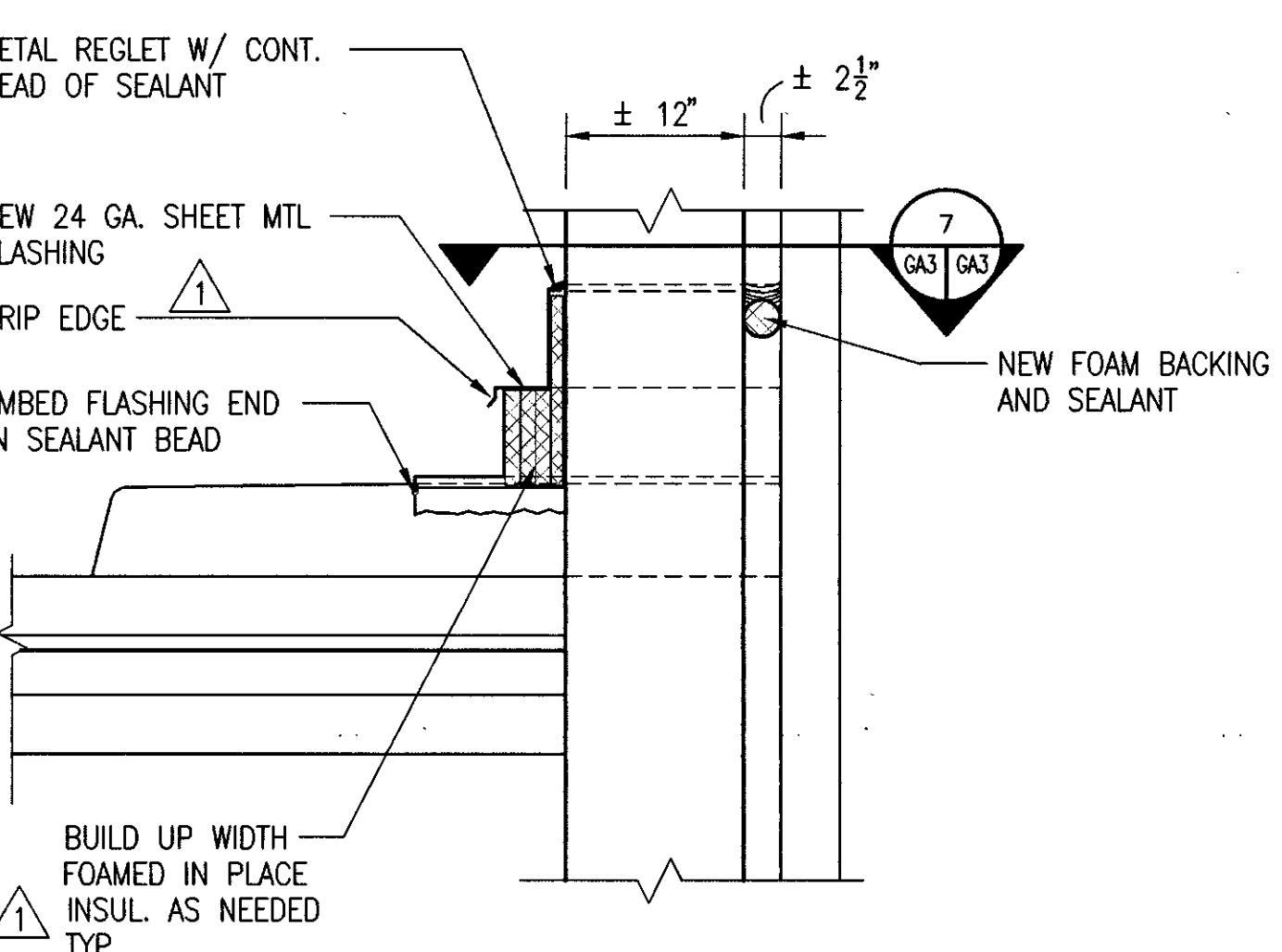
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SECTIONS & DETAILS

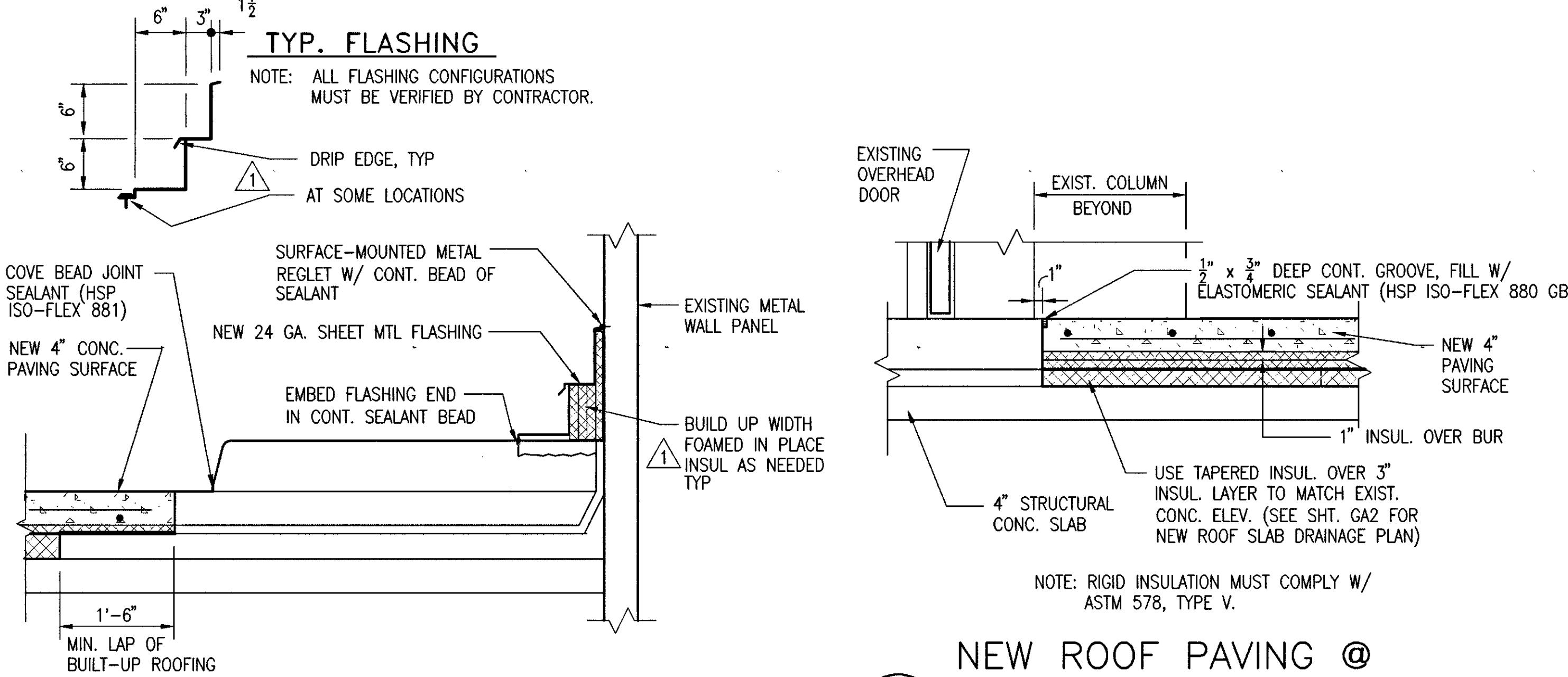
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GA3



2 NEW ROOF PAVING @ EXISTING ROOF DRAIN
GA2 GA3 1"=1'-0" 135DET2

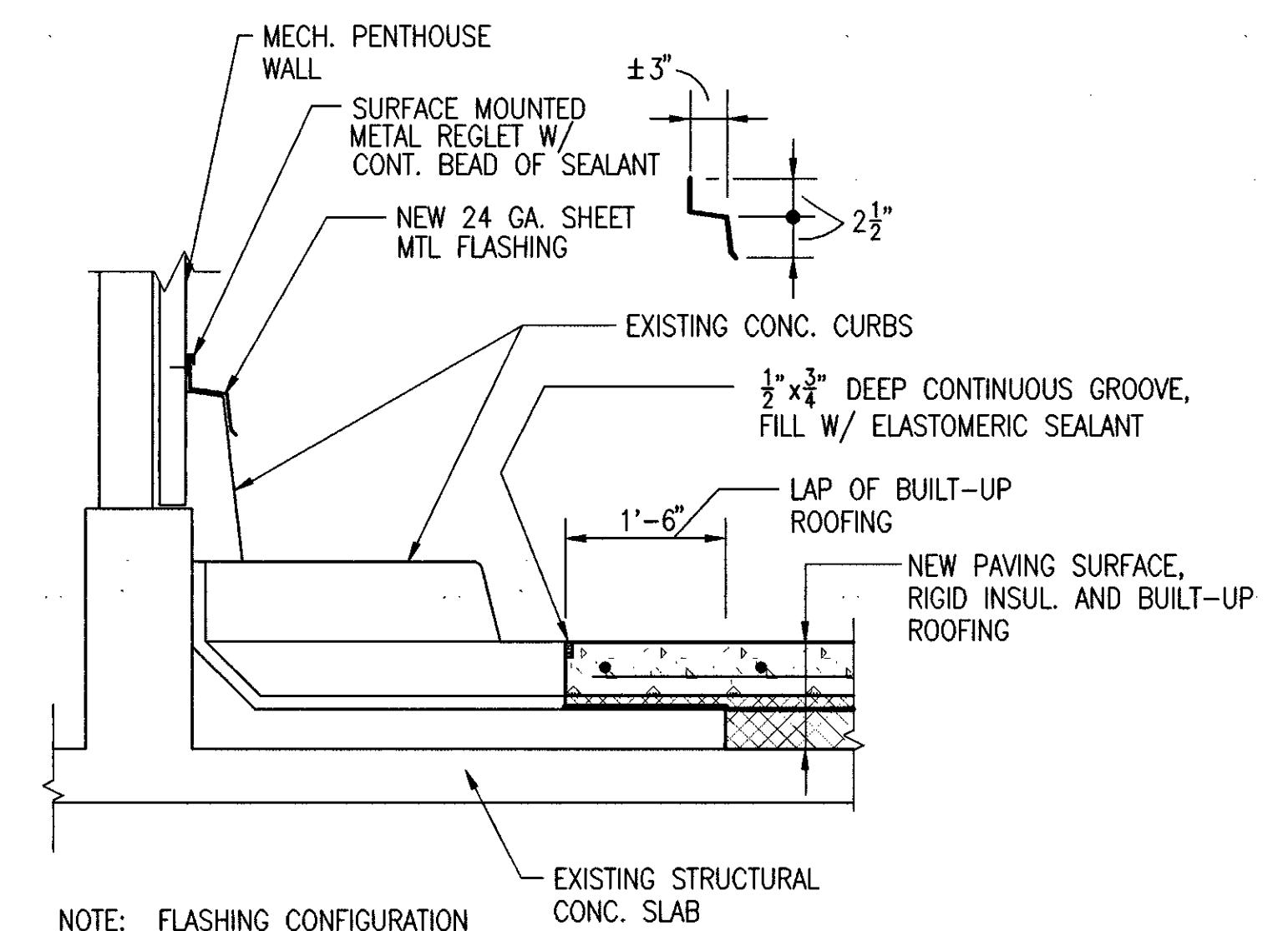


1 NEW EXPANSION JOINT
GA2 GA3 1"=1'-0" 135DET1



3 TYPICAL DETAIL @ CONC. CURB
GA2 GA3 1"=1'-0" 135DET3

4 NEW ROOF PAVING @ OVERHEAD DOORS
GA2 GA3 1"=1'-0" 135DET4

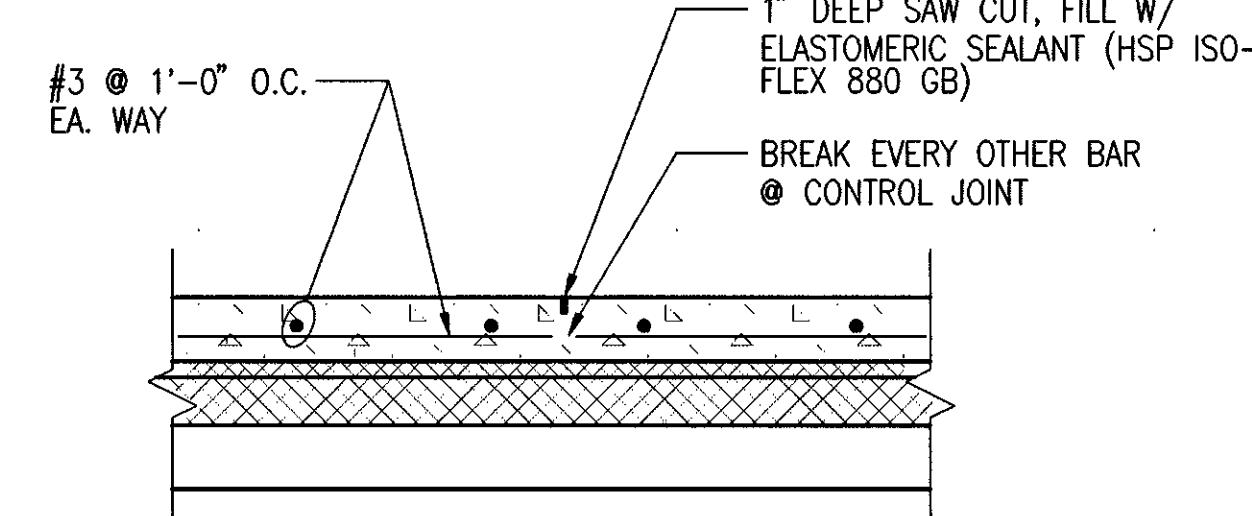
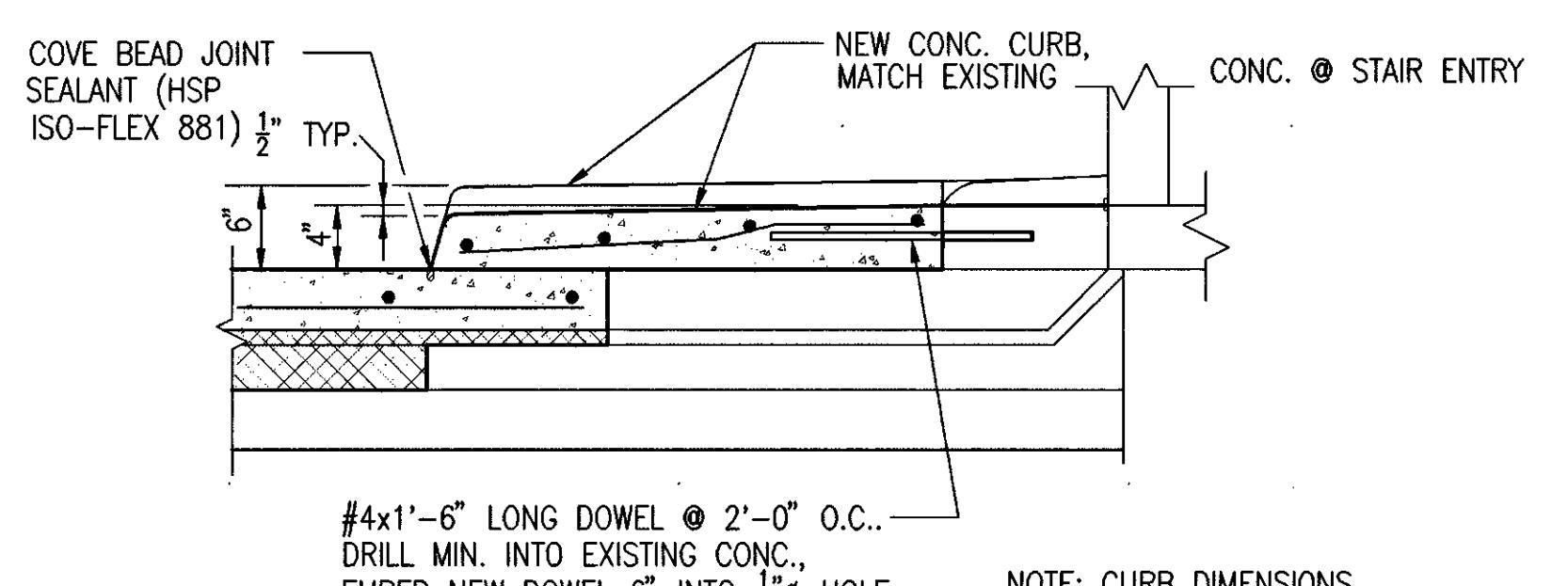
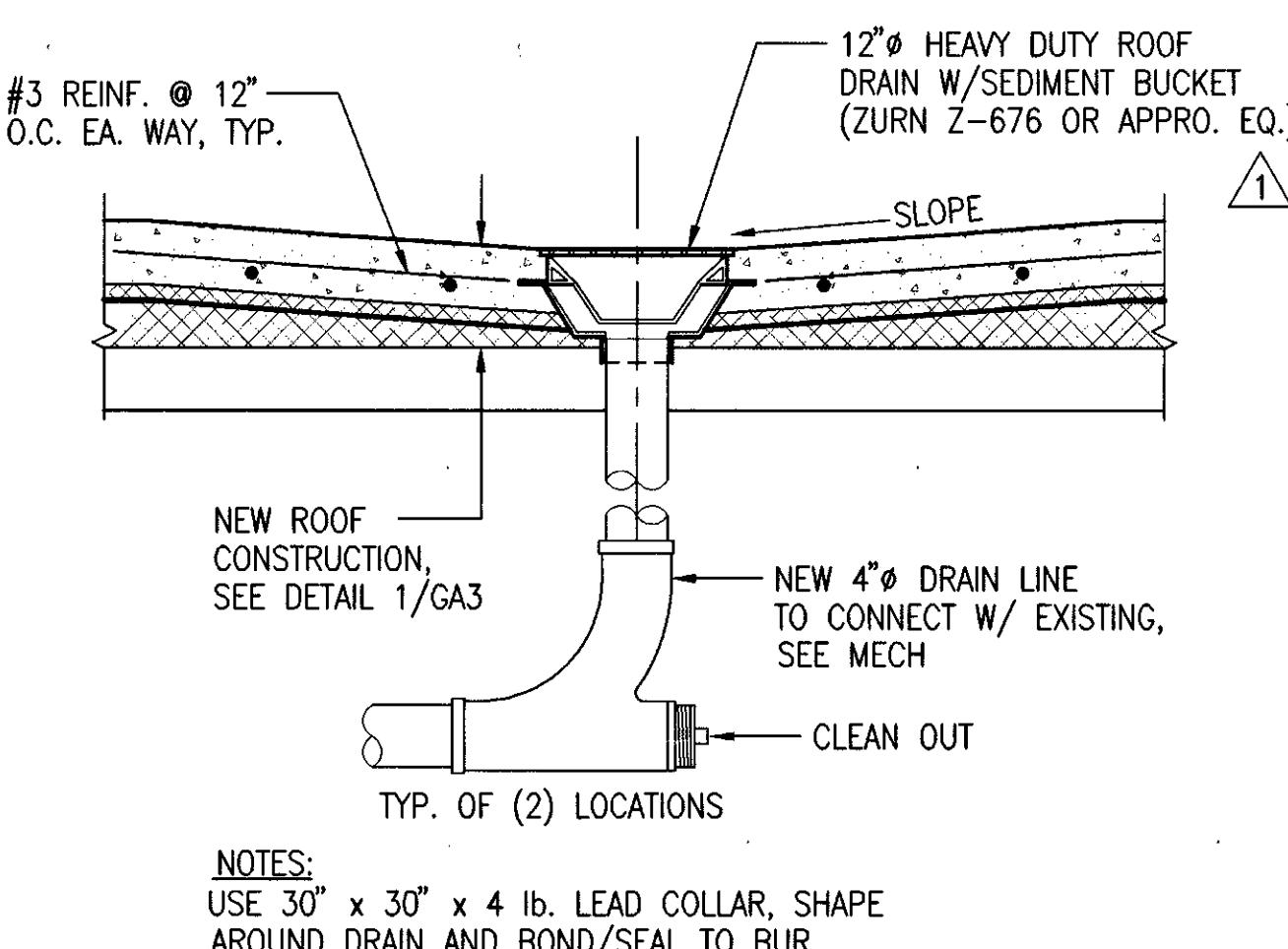


5 TYPICAL CONSTRUCTION JOINT
GA2 GA3 1 1/2"=1'-0" 135DET5

6 FLASHING @ COLUMNS
GA2 GA3 1"=1'-0" 135DET6

7 FLASHING DETAIL @ COLUMNS
GA2 GA3 1"=1'-0" 135DET7

8 TYPICAL DETAIL @ MECH. PENTHOUSE
GA2 GA3 1"=1'-0" 135DET8



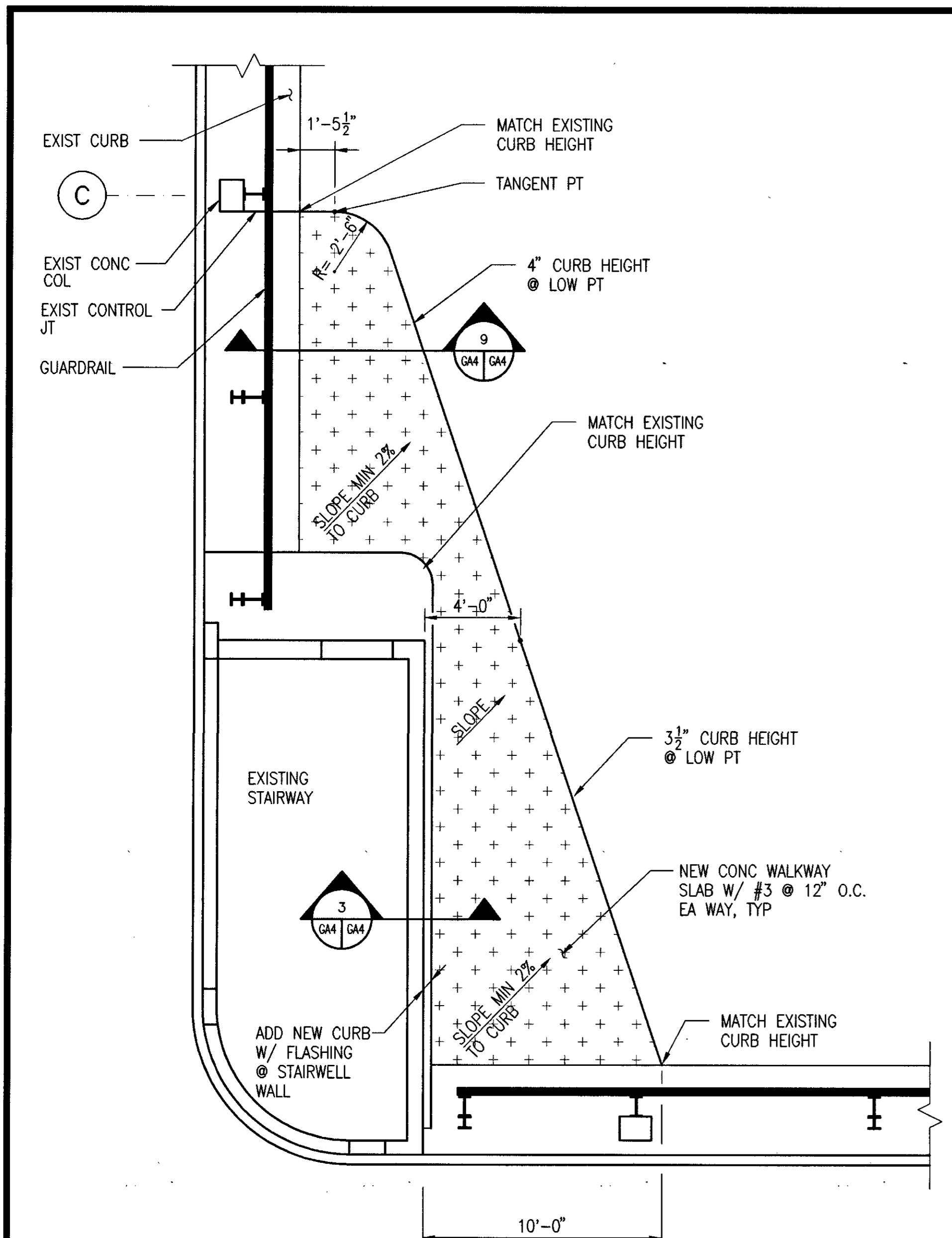
NOTE: SAWED JOINTS SHALL BE MADE AS SOON AS THE JOINT CAN BE CUT W/O EDGES RAVELING AND WITHIN 24 HOURS OF SLAB PLACEMENT..

9 NEW ROOF DRAIN
GA2 GA3 1"=1'-0" 135DET9

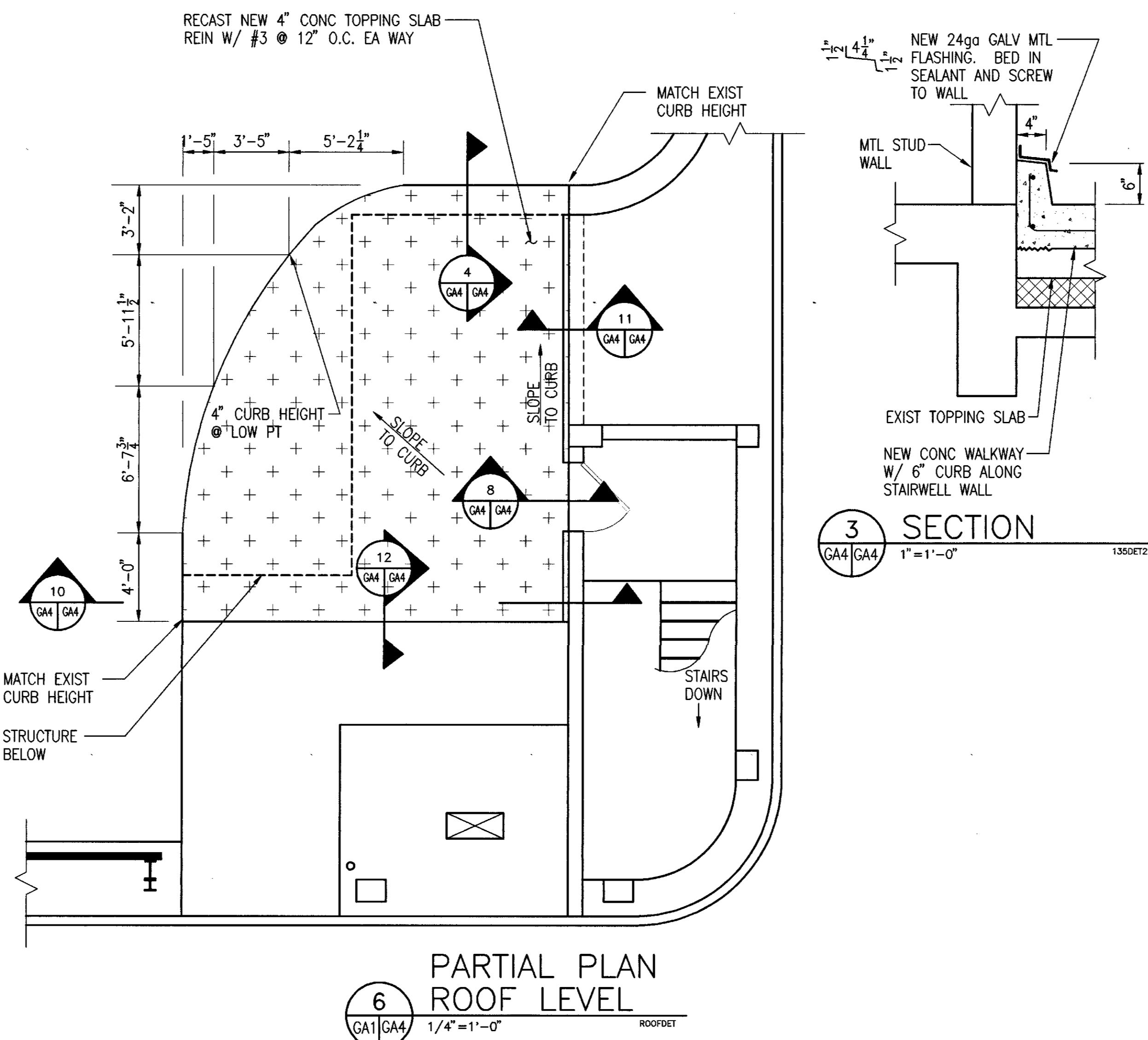
10 NEW CURB @ STAIR DOOR
GA2 GA3 1"=1'-0" 135DET10

11 TYP. CONTROL JOINT
GA2 GA3 1"=1'-0" 135DET11

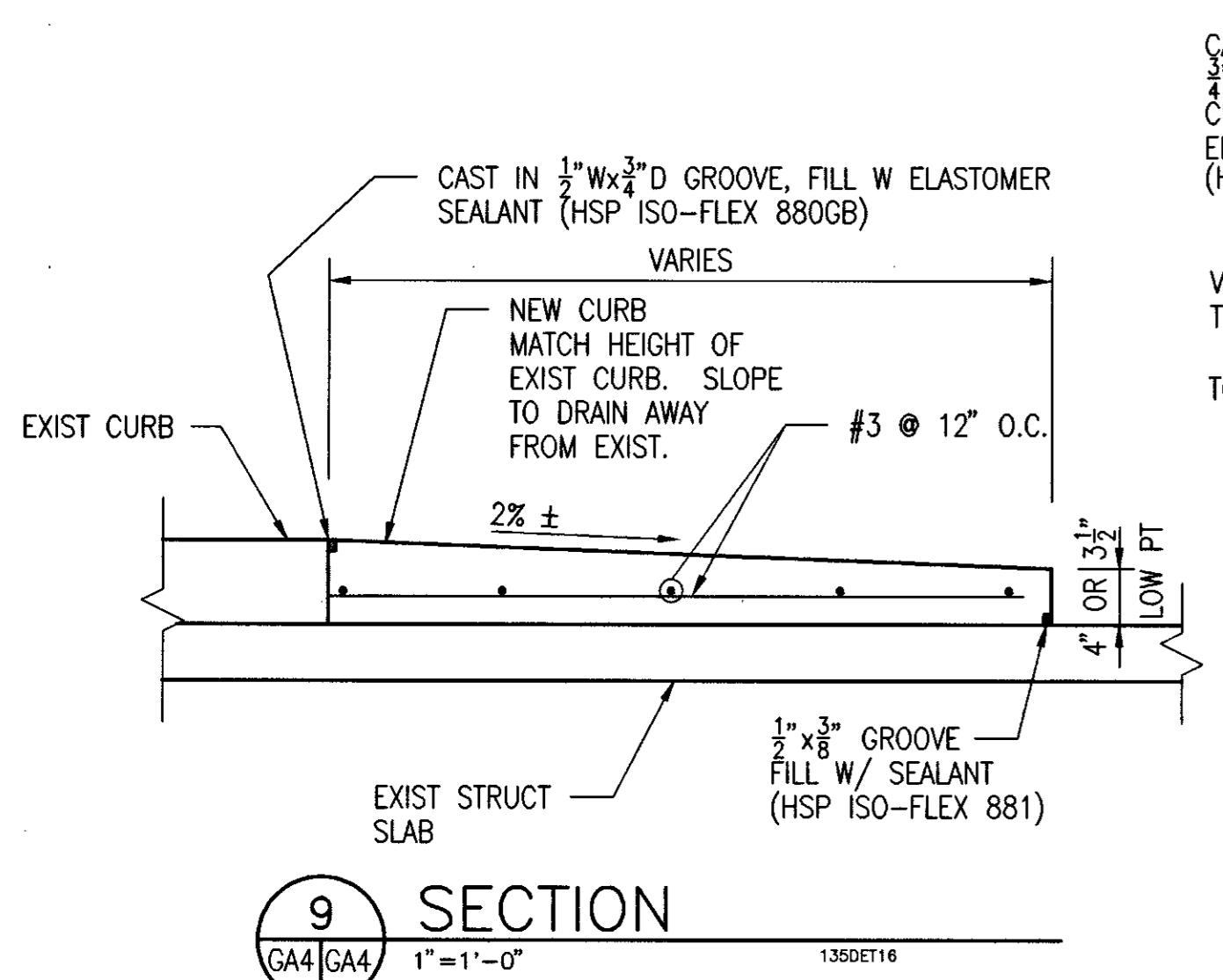
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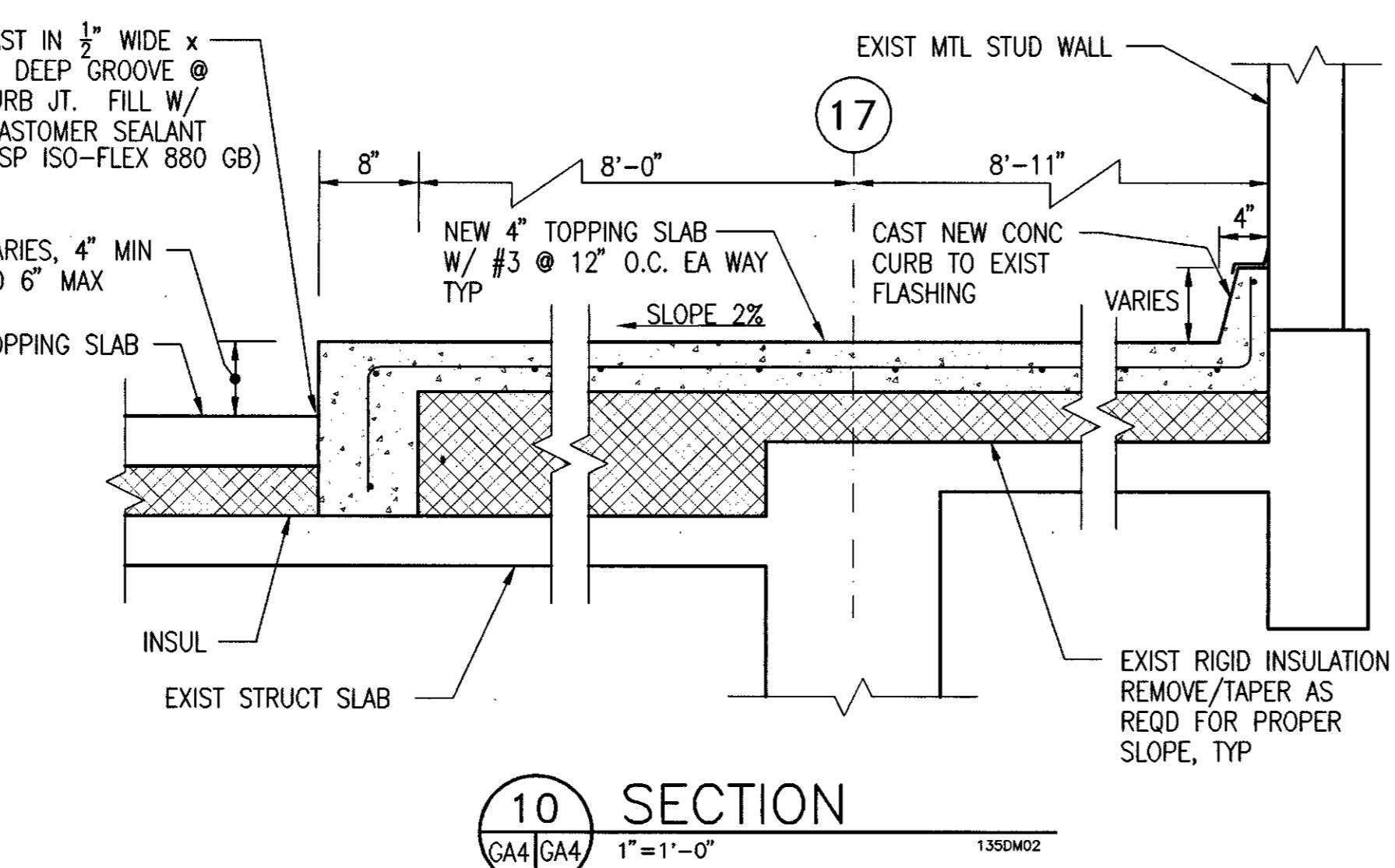
ALTERATE #3
PARTIAL PLAN ROOF LEVEL
5
GA4|GA4 1/4"=1'-0" 1350ET15



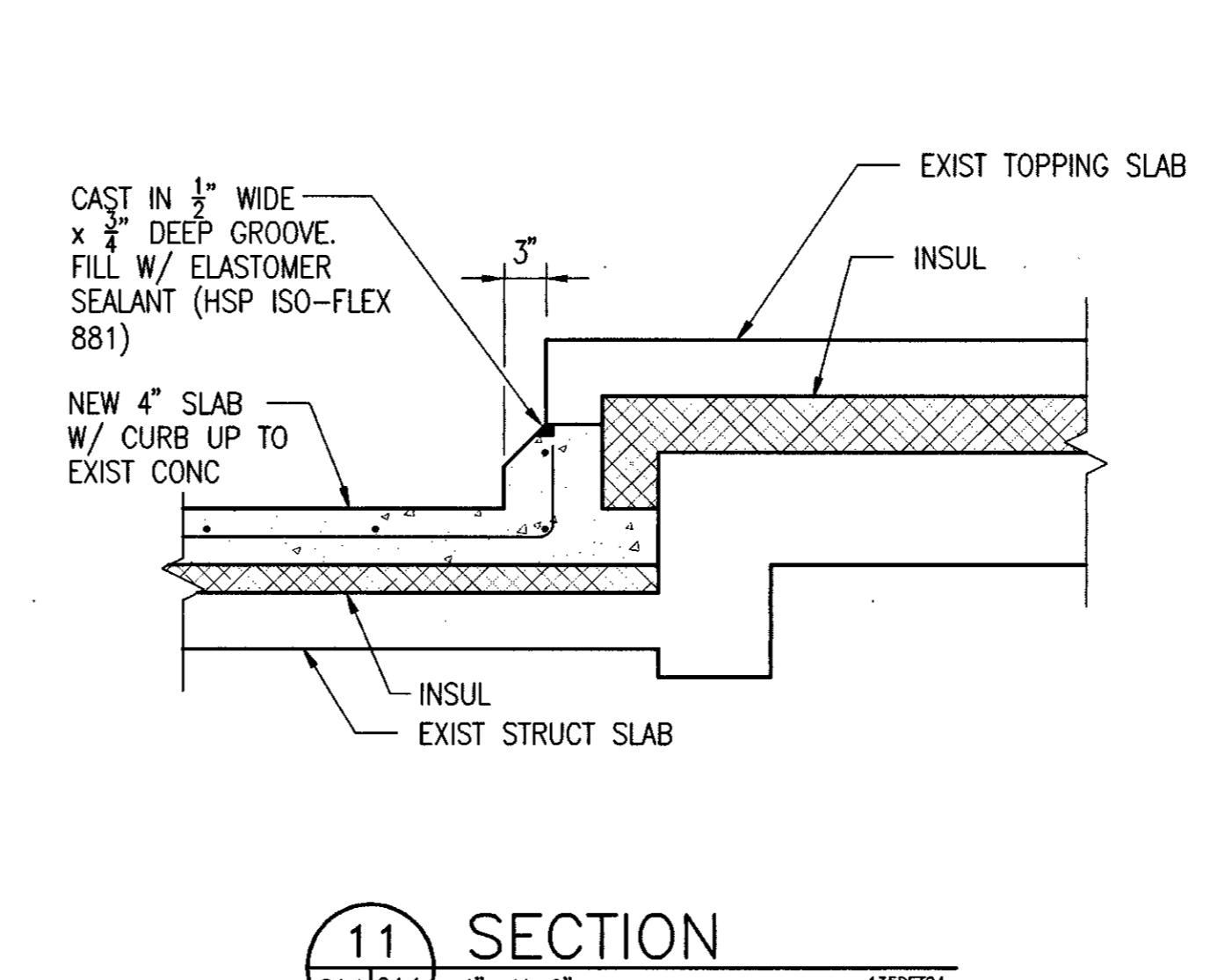
PARTIAL PLAN
ROOF LEVEL
6
GA1|GA4 1/4"=1'-0" ROOFDET



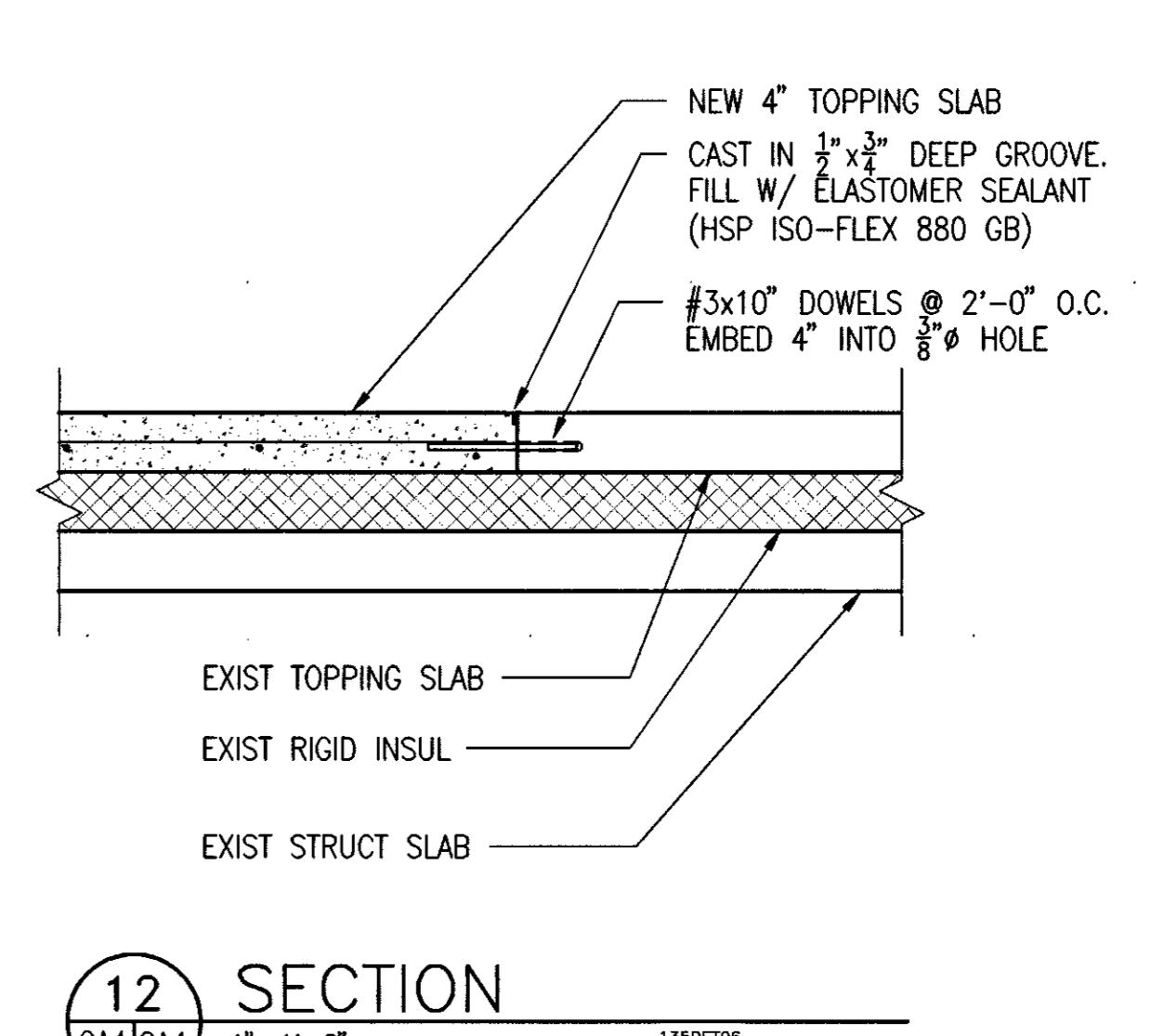
9
GA4|GA4 1"=1'-0" 1350ET16



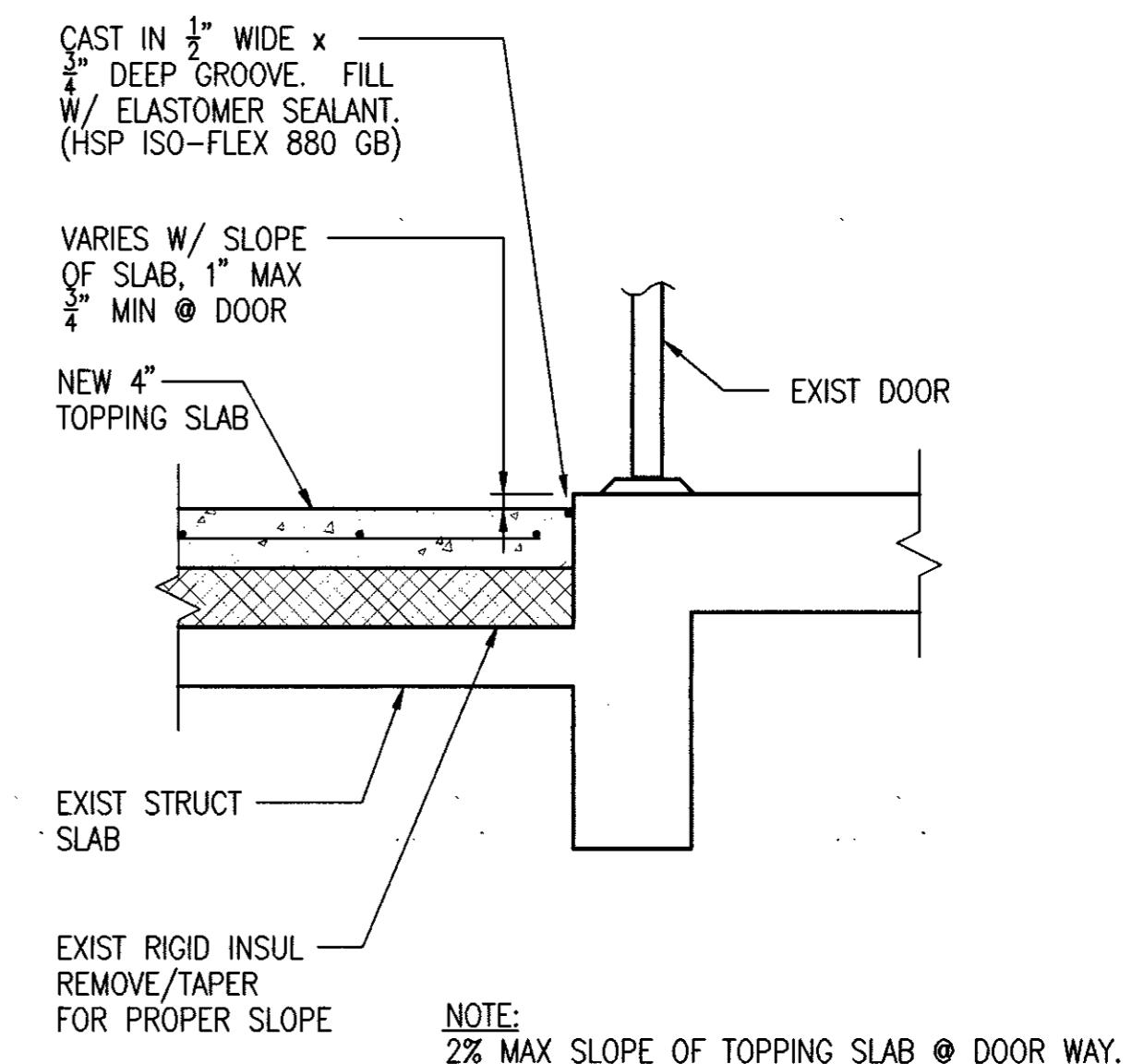
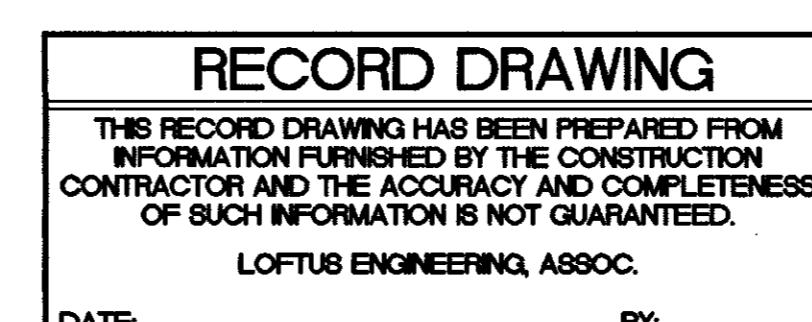
10
GA4|GA4 1"=1'-0" 1350M02



11
GA4|GA4 1"=1'-0" 1350ET04



12
GA4|GA4 1"=1'-0" 1350ET08



8
GA4|GA4 1"=1'-0" 1350ET05

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PARTIAL PLANS
SECTIONS & DETAILS

sheet no.
GA4

