

GENERAL NOTES

WORK INCLUDED IN THIS PROJECT IS SEPARATED INTO (5) SEGMENTS:

1. BASE BID:
 - a) REMOVE AND REPLACE INSULATION, MEMBRANE AND CONCRETE PAVING SURFACE WITH ASSOCIATED DRAINS, JOINTS, FLASHING, AND SEALANTS IN DESIGNATED AREA AS SHOWN IN PARTIAL PLAN OF 1/GA2.
 - b) REMOVE AND REPLACE THE CONCRETE WALKWAY OUTSIDE THE S.W. STAIR TOWER AS SHOWN IN PARTIAL PLAN OF 6/GA4.
 - c) MOVE PERIMETER GUARDRAIL WITH ASSOCIATED ELECTRICAL EQUIP. AS SHOWN IN DETAILS 1 & 2 ON SHEET GA5.
2. ADDITIVE ALTERNATE #1:
 - a) REMOVE AND REPLACE OR REPAIR METAL FLASHING AS SHOWN ON SHT GA1.
 - b) RESEAL ALL FLASHING FOR A COMPLETE WEATHER SEAL SYSTEM. THIS INCLUDES JOISTS BTWN FLASHINGS AND FLASHING TO SUBSTRATE SURFACES.
3. ADDITIVE ALTERNATE #2:
 - a) ROUTE OUT AND SEAL 500 LINEAL FT. OF CRACK IN EXISTING UPPER LEVEL CONCRETE PAVING SURFACE AS SHOWN IN DETAIL 4/GA1.
4. ADDITIVE ALTERNATE #3:
 - a) ADD NEW CONCRETE WALKWAY W/ CURB AND FLASHING OUTSIDE THE N.W. STAIR TOWER AS SHOWN IN PARTIAL PLAN OF 5/GA4.
5. ADDITIVE ALTERNATE #4:
 - a) MECHANICALLY CLEAN LOOSE RUST & CORROSION OFF HORIZONTAL GIRTS AND SIDING NEAR 2nd LEVEL EAST EXIT STAIRS. PRIME & REPAINT AS SHOWN IN PARTIAL WALL ELEVATION OF 9/GA5.

STRUCTURAL CONCRETE

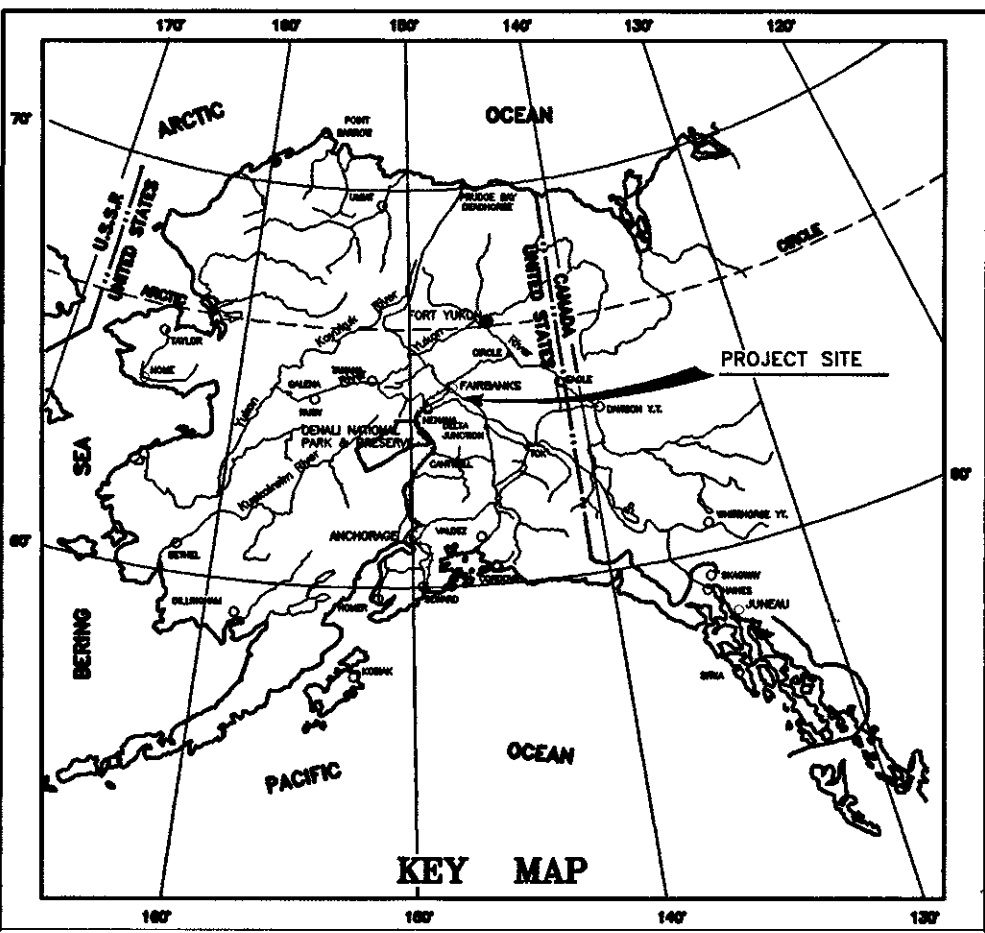
1. CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
2. ALL CONCRETE SHALL CONTAIN AN APPROVED AIR-ENTRAINING ADMIXTURE AND AN APPROVED WATER REDUCING ADMIXTURE.
3. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO THE STANDARDS OF ASTM A615, GRADE 60.
4. ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318, AND THE "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES", ACI 315.
5. CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAILS, INCLUDING STEEL SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW PRIOR TO FABRICATION.
6. MAXIMUM SLUMP SHALL BE 4 INCHES FOR SLABS, UNLESS OTHERWISE SPECIFIED.
7. MINIMUM CONCRETE COVER SHALL BE 1 1/2" IN SLABS.
8. WHEN CASTING NEW CONCRETE AGAINST EXISTING CONCRETE, CLEAN EXISTING CONCRETE SURFACE BY MECHANICAL ABRASION USING SANDBLASTING, WATERBLASTING, OR OTHER APPROVED MEANS. APPLY BONDING AGENT.
9. INSTALL JOINT SEALANTS PER MFG. RECOMMENDATIONS INCLUDING MECH. ABRASION CLEANING, SURFACE PRIMING, AND MIN. JOINT WIDTHS.

BUILT UP ROOFING

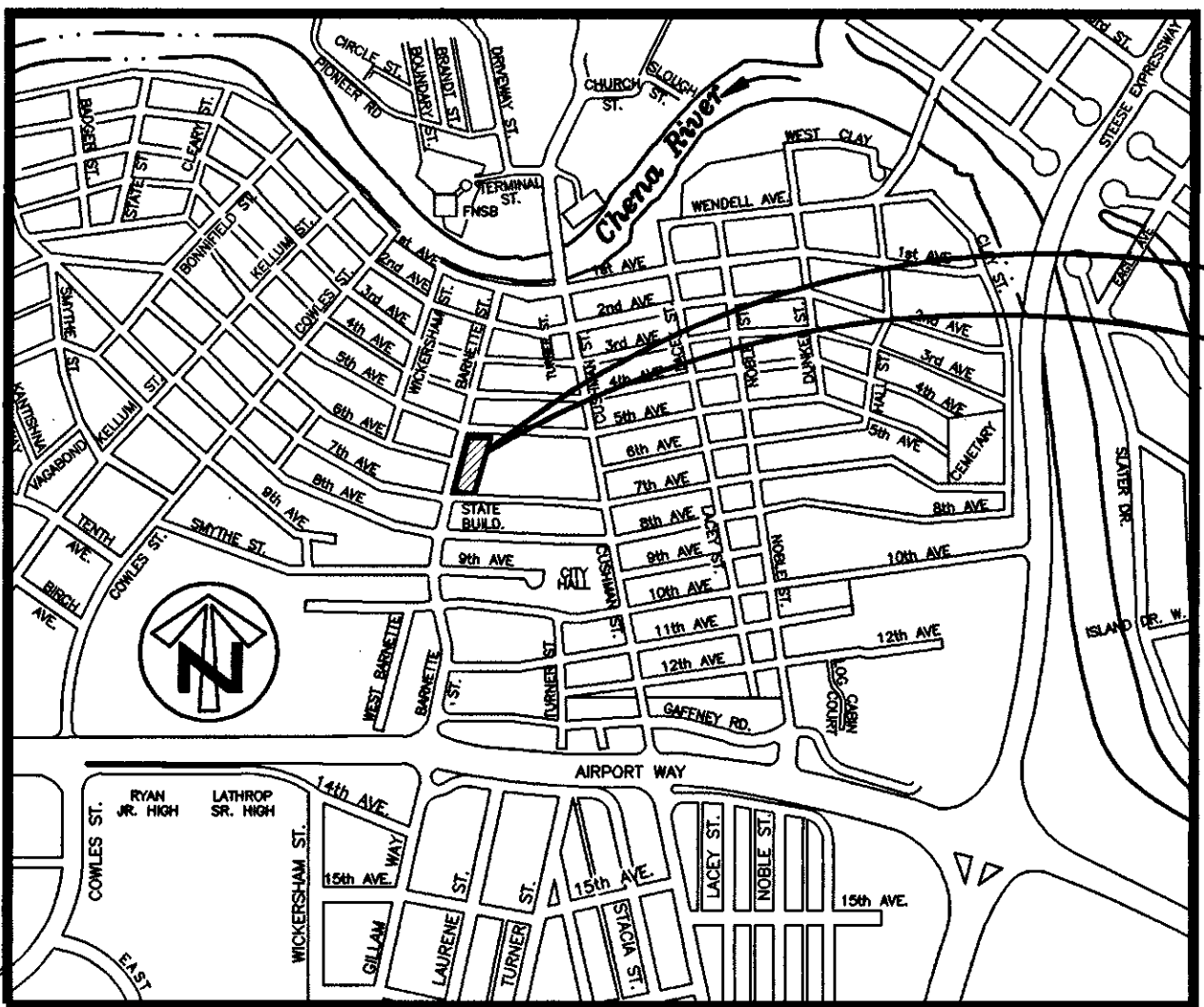
1. BUILT UP ROOFING SYSTEM SHALL CONSIST OF 4 PLYS OF ASPHALT FELTS OVER 1/2" WOOD FIBER BOARD.
2. FIBER BOARD SHALL COMPLY WITH ASTM C 208 TYPE A-2.
3. ASPHALT, GLASS-FIBER FELT SHALL COMPLY WITH ASTM D 2178, TYPE IV.
4. ROOFING ASPHALT SHALL COMPLY WITH ASTM D 312, TYPE III.
5. HEAT AND APPLY BITUMEN ACCORDING TO EVT METHOD AS RECOMMENDED BY NRCA.

ABBREVIATIONS

EXIST.	EXISTING
C.J.	CONTROL JOINT
OPP.	OPPOSITE
DEMO.	DEMOLISH
SIM.	SIMILAR
TYP.	TYPICAL
HSP	HARRY S. PETERSEN
EQ.	EQUAL
APPRO.	APPROVED
W/	WITH
REIN.	REINFORCE
EA.	EACH
O.C.	ON CENTER
LIN.	LINEAL
FT.	FEET
BUR	BUILT UP ROOFING
GA.	GAGE
MTL.	METAL



STATE OF ALASKA



CITY OF FAIRBANKS (PARTIAL MAP)

SYMBOLS

DATUM POINT	
SECTION REFERENCE	
SECTION/DETAIL TITLE	
REVISION	

PROJECT SITE

FAIRBANKS STATE PARKING GARAGE ROOF DECK REPAIRS

STATE OF ALASKA PROJECT NO. 95-25-2-50

DEPARTMENT OF TRANSPORTATION & PUBLIC FACILITIES
NORTHERN REGION, DESIGN AND CONSTRUCTION
2301 PEGER ROAD
FAIRBANKS, ALASKA 99709-5316

Prime Consultant
LOFTUS ENGINEERING ASSOCIATES, INC.
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INDEX TO DRAWINGS

- T1 General Notes & Additive Alternates
- D1 Demolition Plan & Details
- GA1 Upper Level Plan, Flashing Repair Schedule & Details
- GA2 Partial Roof Plan
- GA3 Sections & Details
- GA4 Partial Plans, Sections & Details
- GA5 Guardrail Details, 2nd Level Partial Wall Elevation
- M1/E1 Mechanical & Electrical Details

CODE INFORMATION

CODE: 1991 UBC

ISSUE DATE

SET NO.

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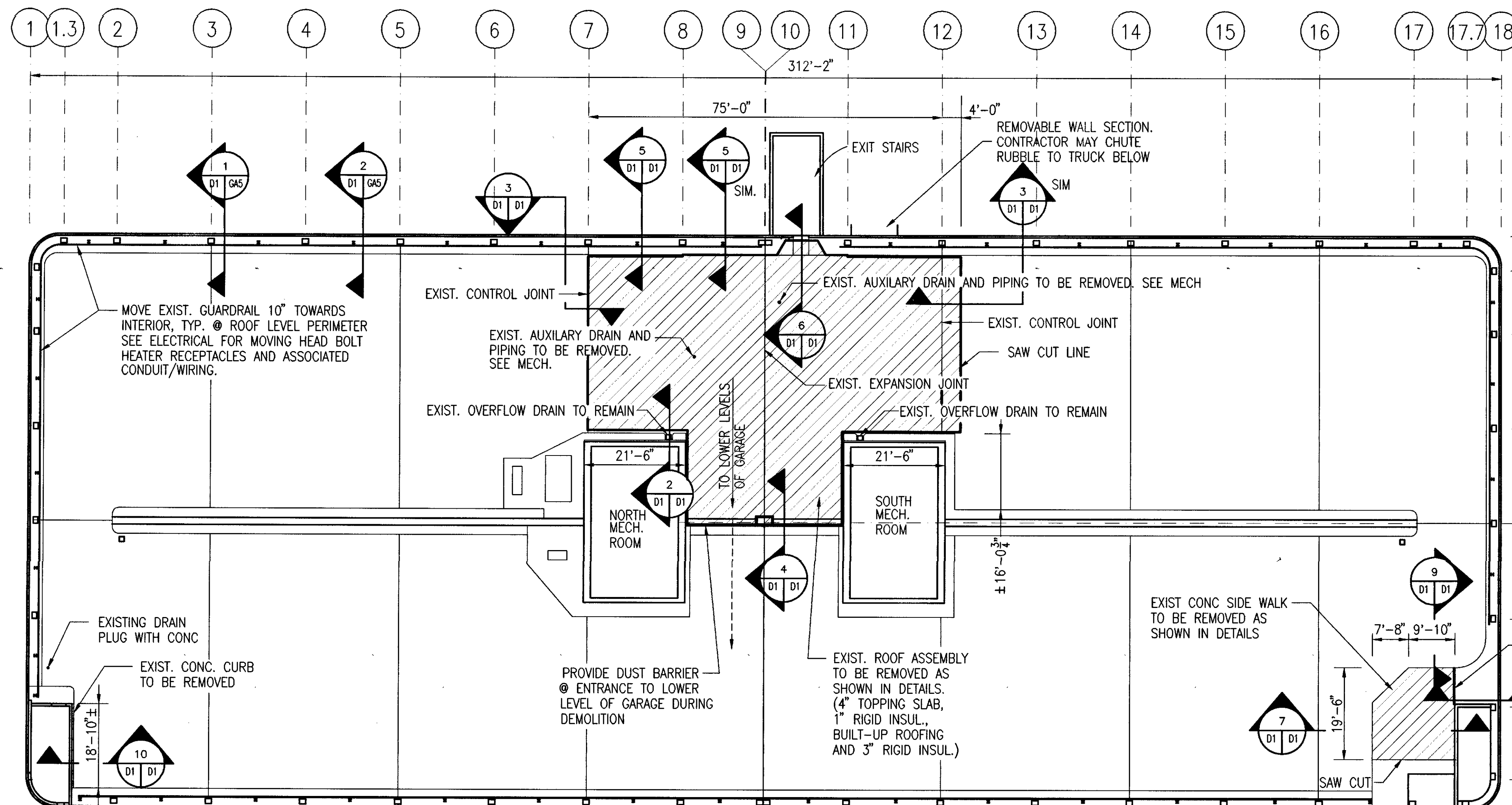
STATE OF ALASKA DOT/PF
FAIRBANKS STATE PARKING GARAGE
ROOF DECK REPAIRS
PROJECT NO. 96-25-2-50

date: 5/10/96
drawn: VNG
designed: PWR
checked: JJJ
revised:

GENERAL NOTES
ADDITIVE ALTERNATES

sheet no.

T1



DEMOLITION NOTES

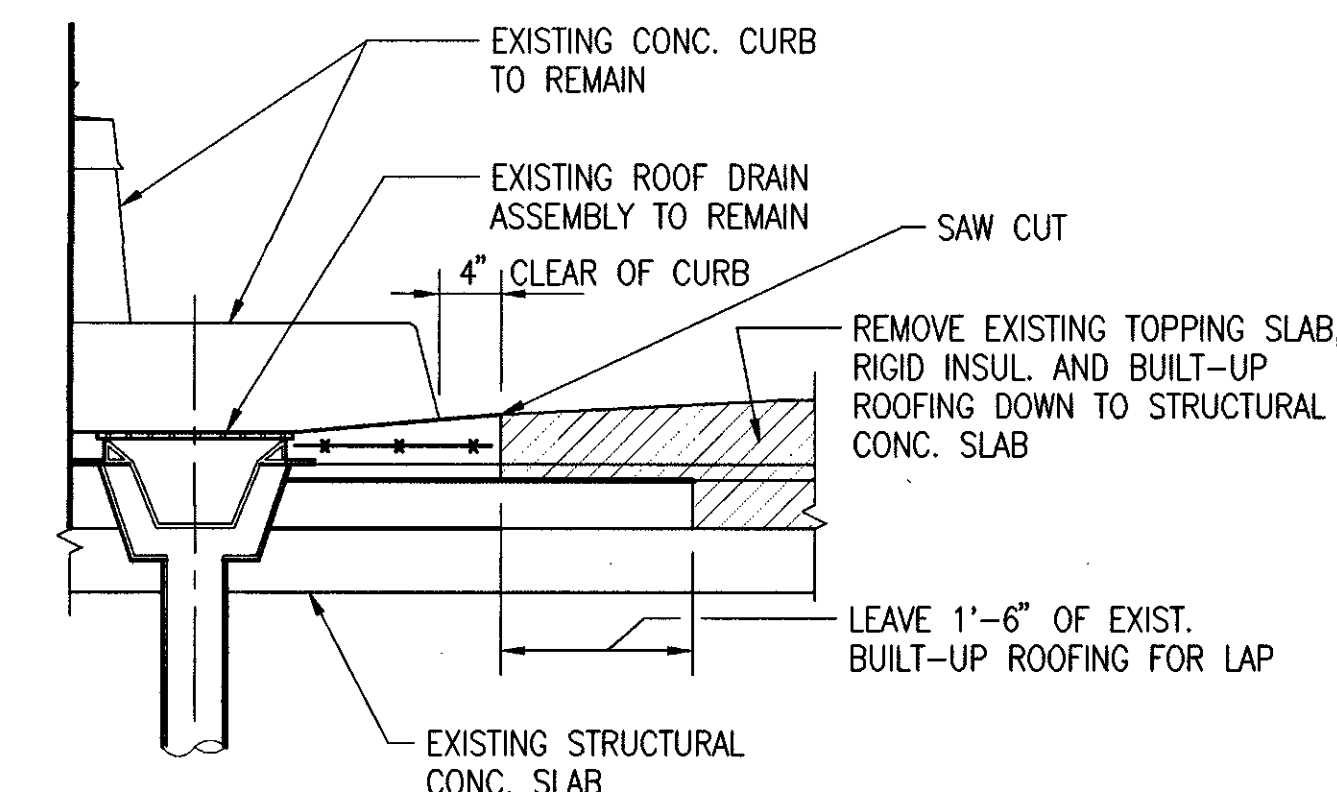
1. EXTENT OF EXISTING TOPPING SLAB TO BE SAW CUT AND REMOVED IS SHOWN ON DEMOLITION PLAN. ALL CONCRETE RUBBLE AND DEMOLITION DEBRIS SHALL BE HAULED TO APPROVED LOCATION FOR OFFSITE DISPOSAL.
2. ASSUME TOPPING SLAB TO BE 4 1/2" THICK AND REINFORCED W/ #3 BARS @ 12" O.C. E.W.
3. DEMOLITION EQUIPMENT TO BE LIMITED TO RUBBER TIRE, LIGHT WEIGHT EQUIPMENT WITH MAXIMUM 4,000 LB AXLE LOAD. THE USE OF TRACTOR MOUNTED RAMS OR EXPLOSIVES SHALL BE PROHIBITED.
4. CONTRACTOR SHALL LIMIT STACKING OF RUBBLE OR MATERIALS TO MAXIMUM 100 PSF OVER PARKING GARAGE SLABS.
5. REMOVE & DISCARD (2) EXISTING AUXILIARY ROOF DRAINS AND RELATED PIPING, AS SHOWN ON DEMOLITION PLAN AND MECHANICAL DETAILS.
6. CONTRACTOR TO SUBMIT DEMOLITION PLAN TO DEPARTMENT FOR APPROVAL PRIOR TO STARTING WORK.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN.
8. CONTRACTOR TO PROVIDE DUST BARRIER @ DOORS TO LOWER LEVELS ALONG GRID 'D' TO LIMIT DUST TO ROOF LEVEL.

RECORD DRAWING

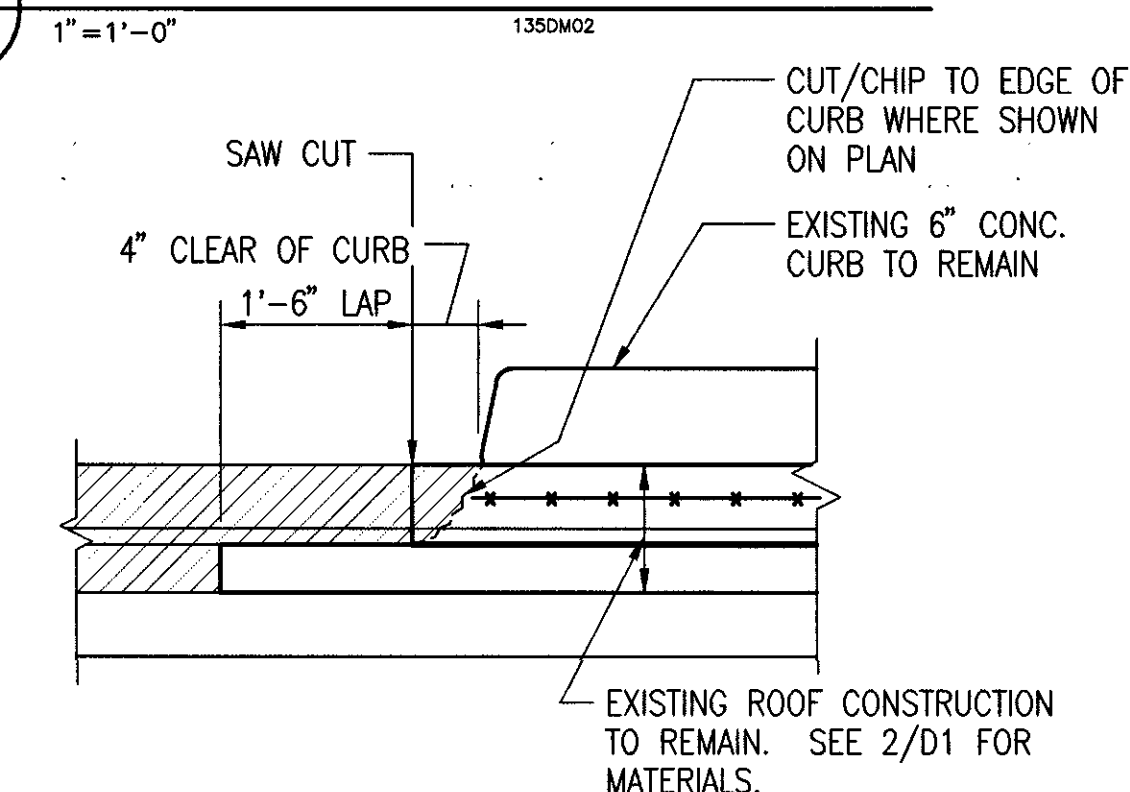
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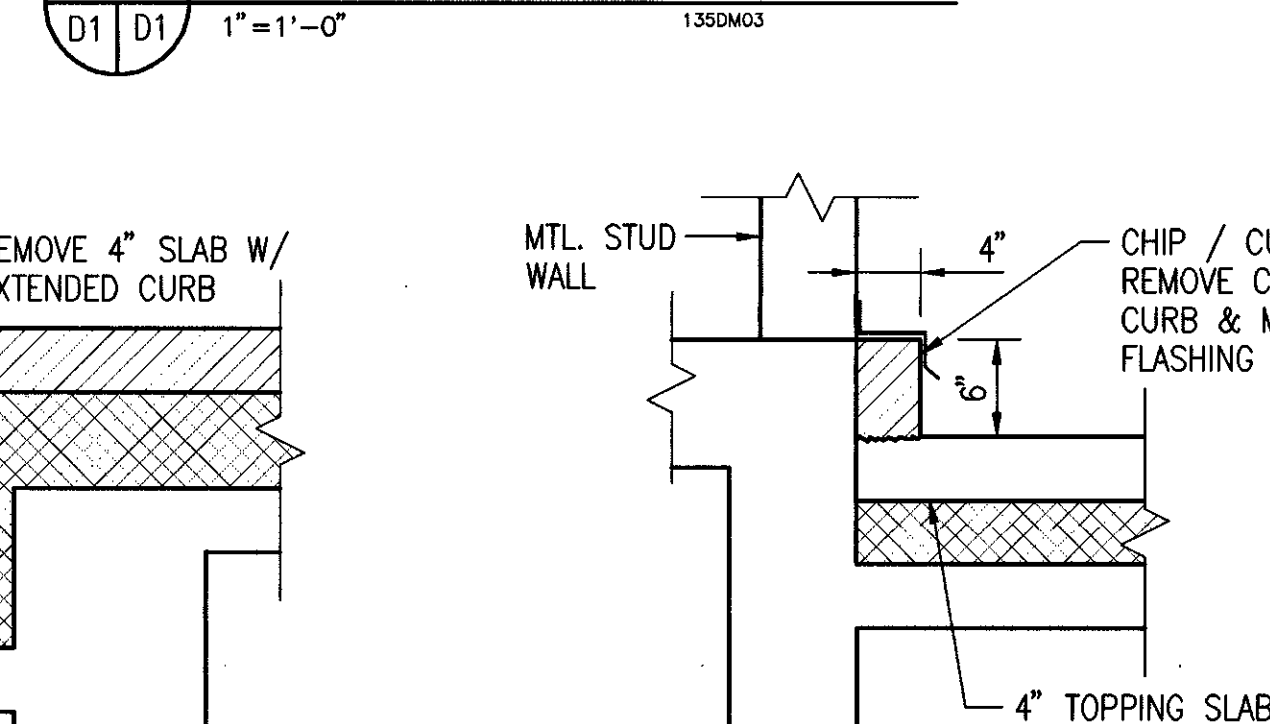
DATE: BY:



DEMO. @ EXISTING ROOF DRAIN



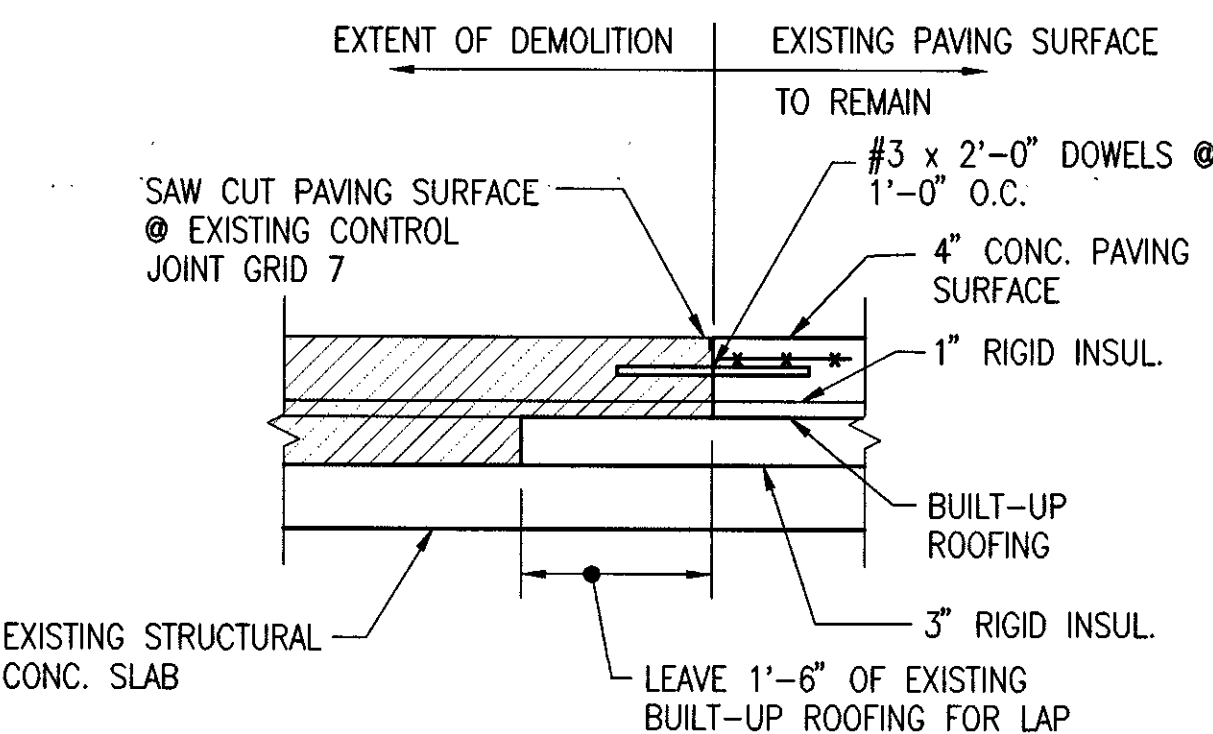
DEMO. @ EXIST. PERIMETER CURB



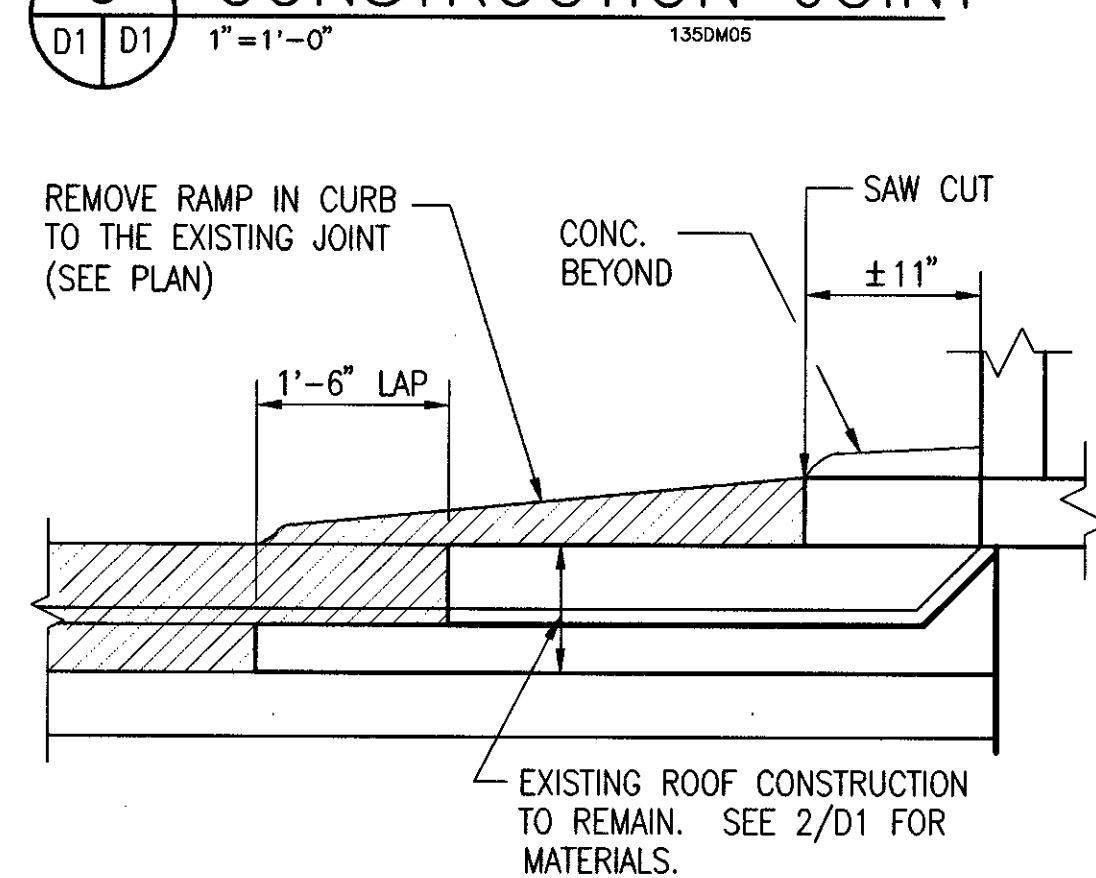
DEMO @ EXIST SIDEWALK

DEMO @ EXIST SIDEWALK

SECTION



DEMO. @ EXIST. CONSTRUCTION JOINT



DEMO. @ EXIST. CURB CUT/DOOR

DEMO @ EXIST SIDEWALK

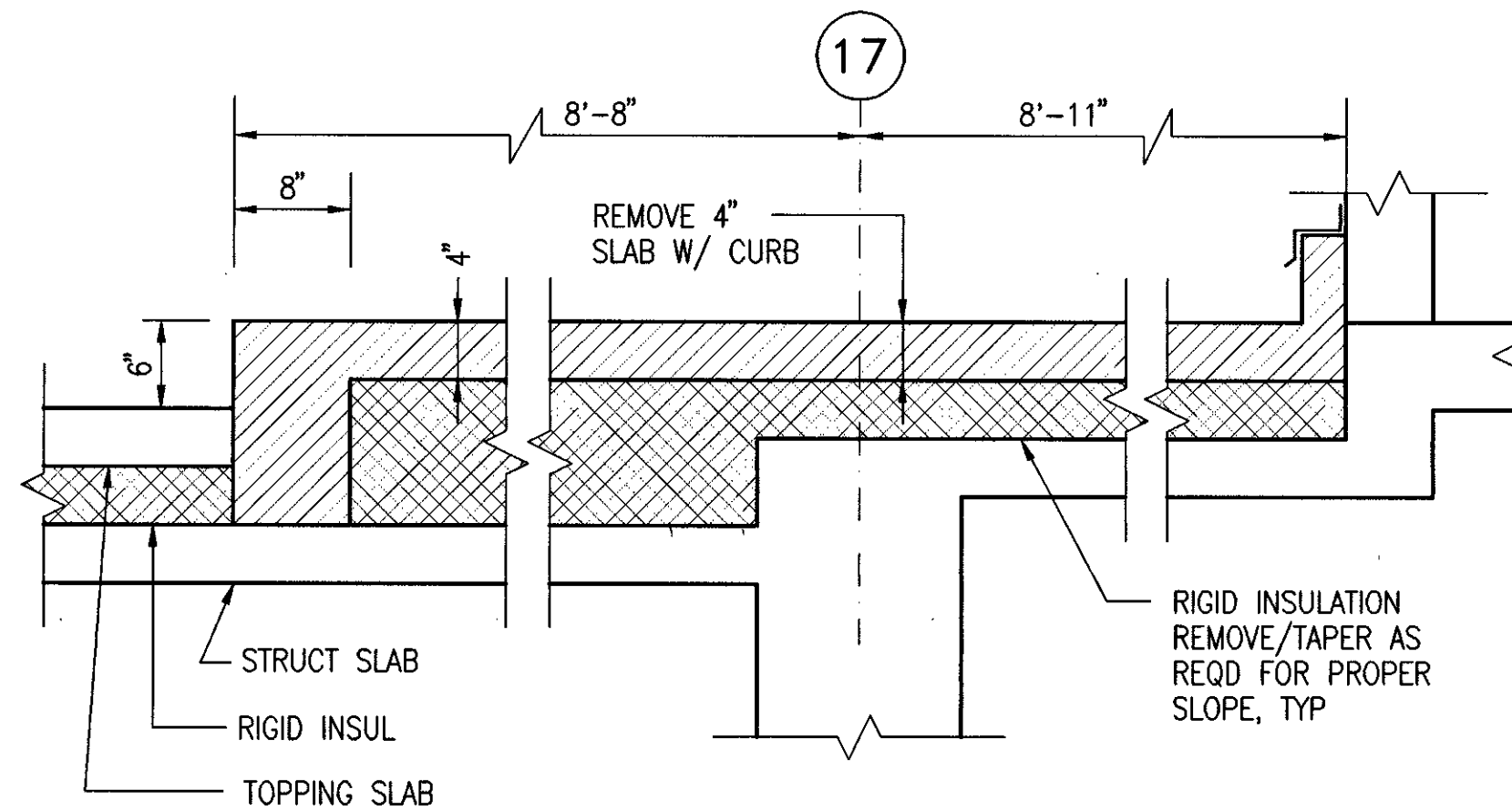
SECTION

UPPER LEVEL DEMOLITION PLAN

1/16" = 1'-0"

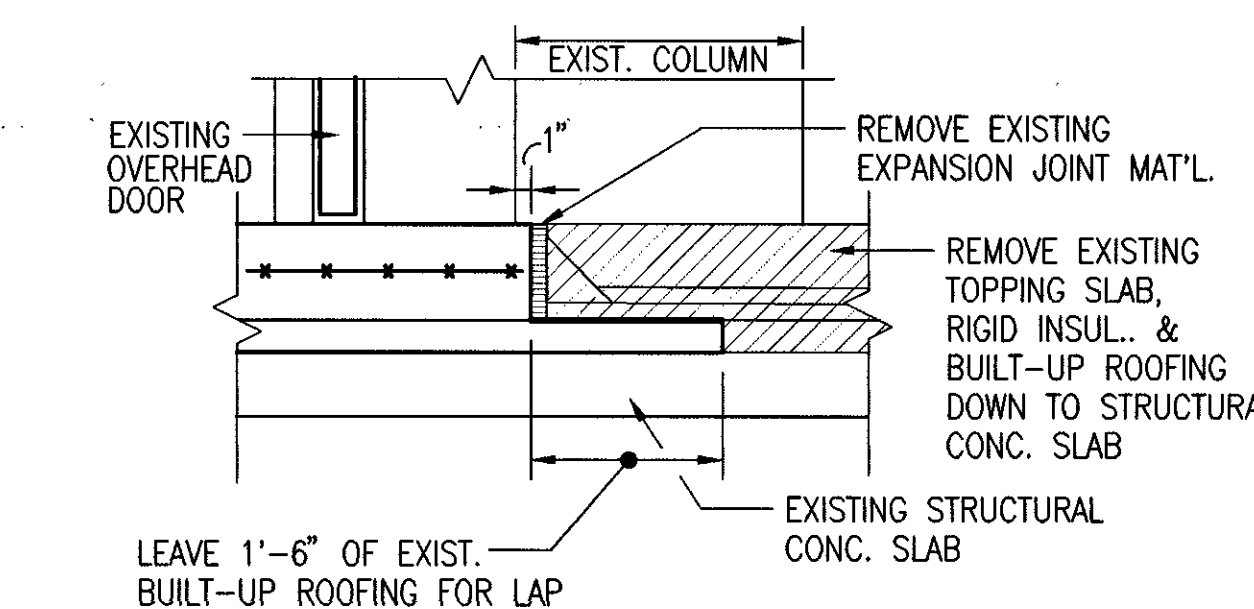
NOTES:

- 1) GRID LINES CORRELATE TO ORIGINAL CONSTRUCTION DOCUMENTS.
- 2) ORIGINAL AS-BUILT DWGS FOR PARKING STRUCTURE ARE AVAILABLE FROM THE DEPARTMENT FOR CONTRACTOR REVIEW.



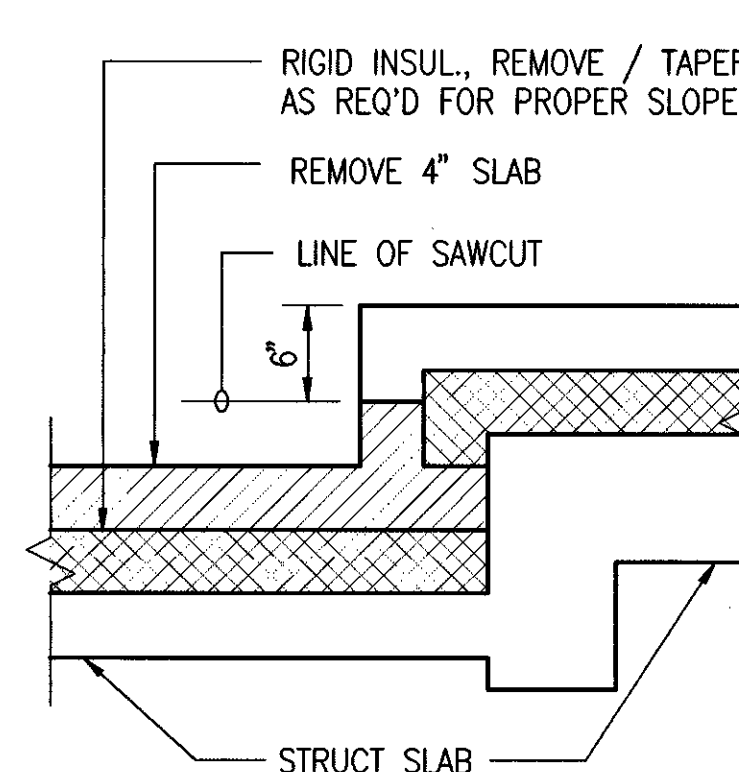
DEMO @ EXIST SIDEWALK

SECTION



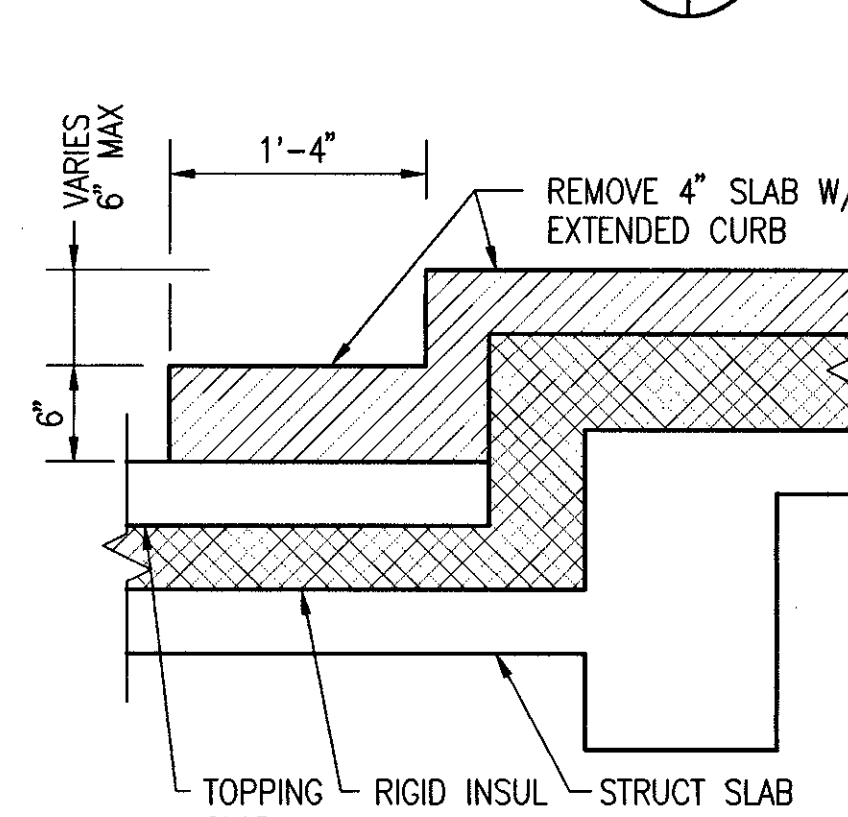
DEMO. @ EXPANSION JOINT/OH DOOR SILL

SECTION



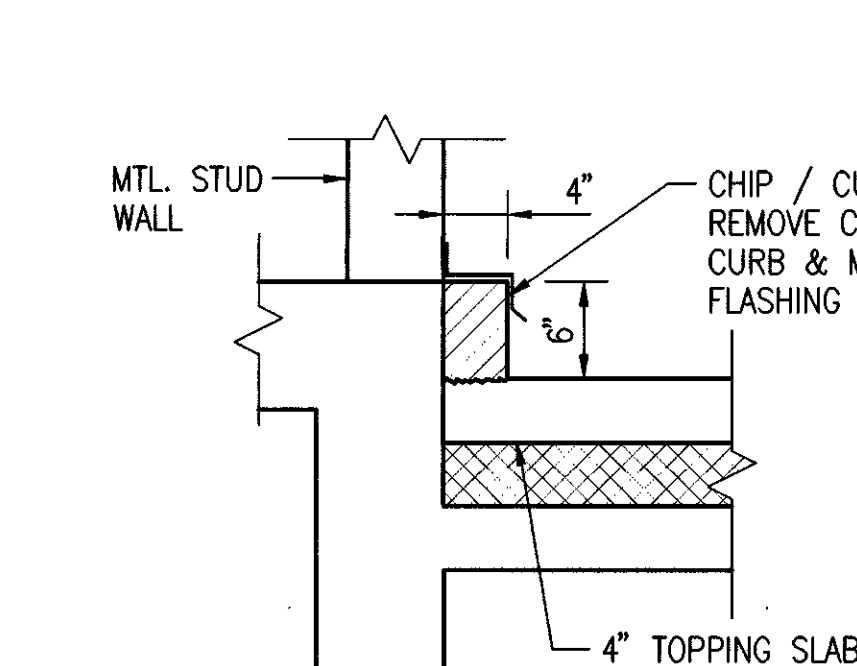
DEMO @ EXIST SIDEWALK

SECTION



DEMO @ EXIST SIDEWALK

SECTION



DEMO @ EXIST SIDEWALK

SECTION

STATE OF ALASKA DOT/PF
FAIRBANKS STATE PARKING GARAGE
ROOF DECK REPAIRS
PROJECT NO. 96-25-2-50

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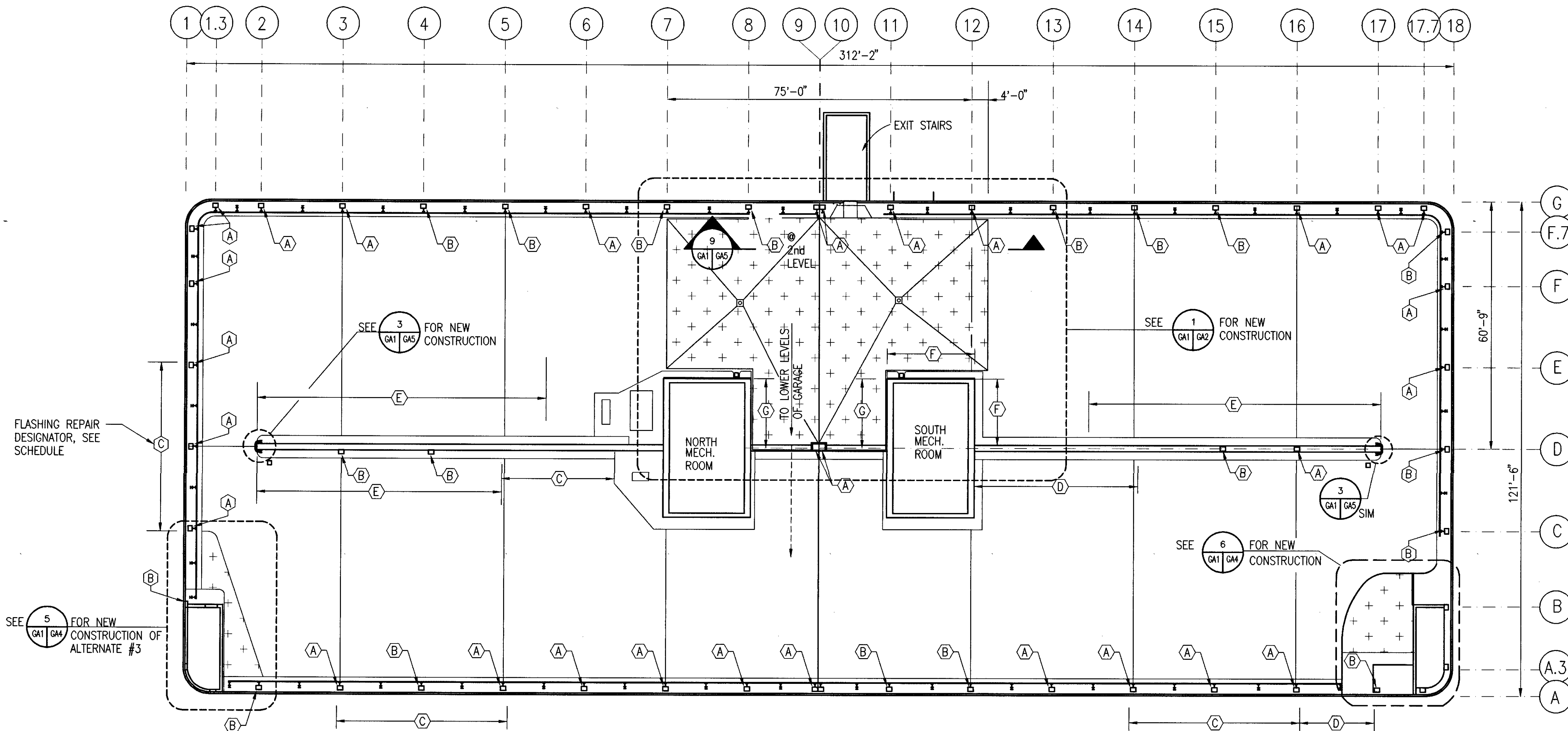
UPPER LEVEL
ROOF DEMOLITION PLAN
SECTIONS & DETAILS

sheet no.

D1

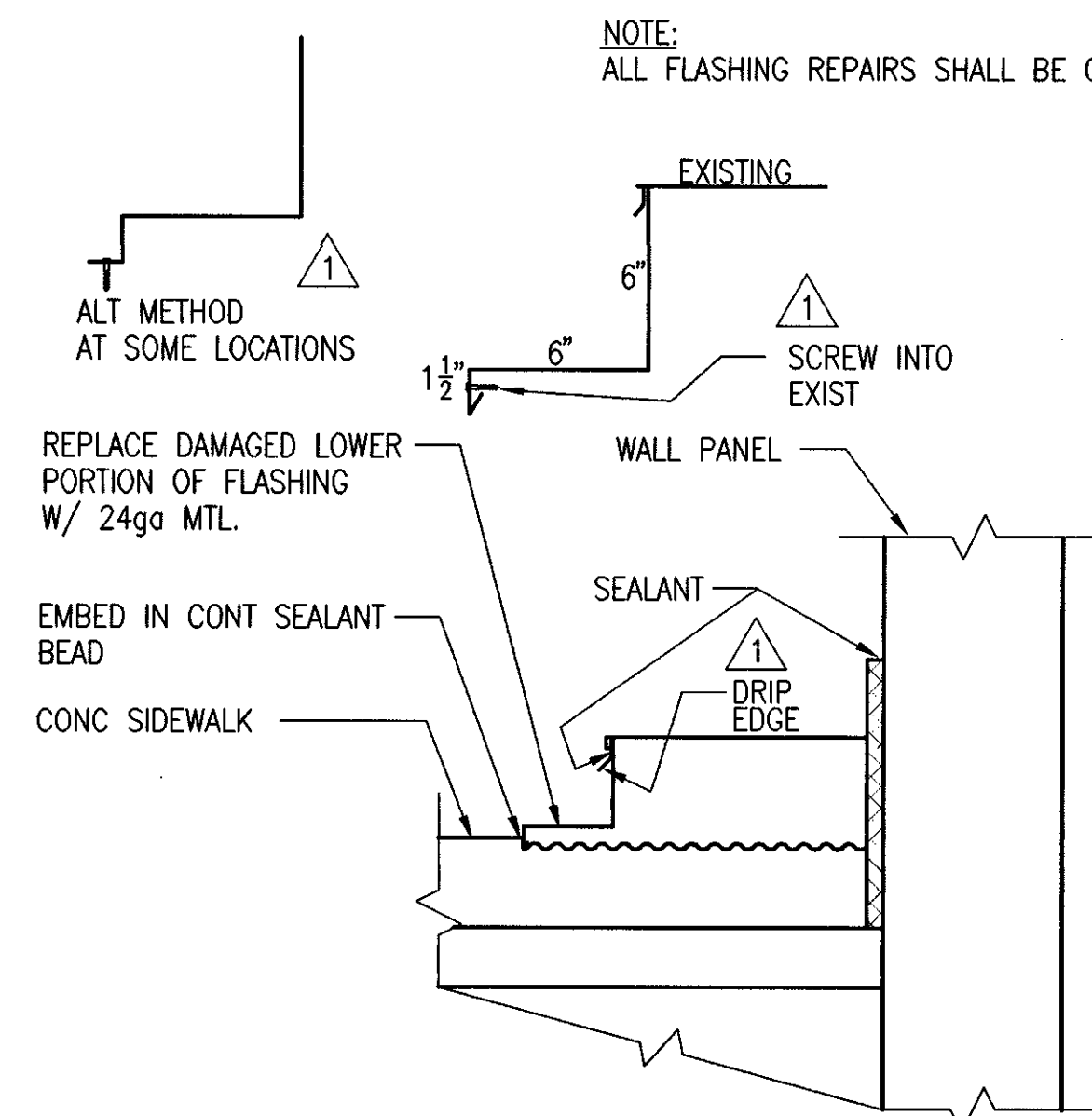
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ALTERNATE #1
FLASHING REPAIR SCHEDULE

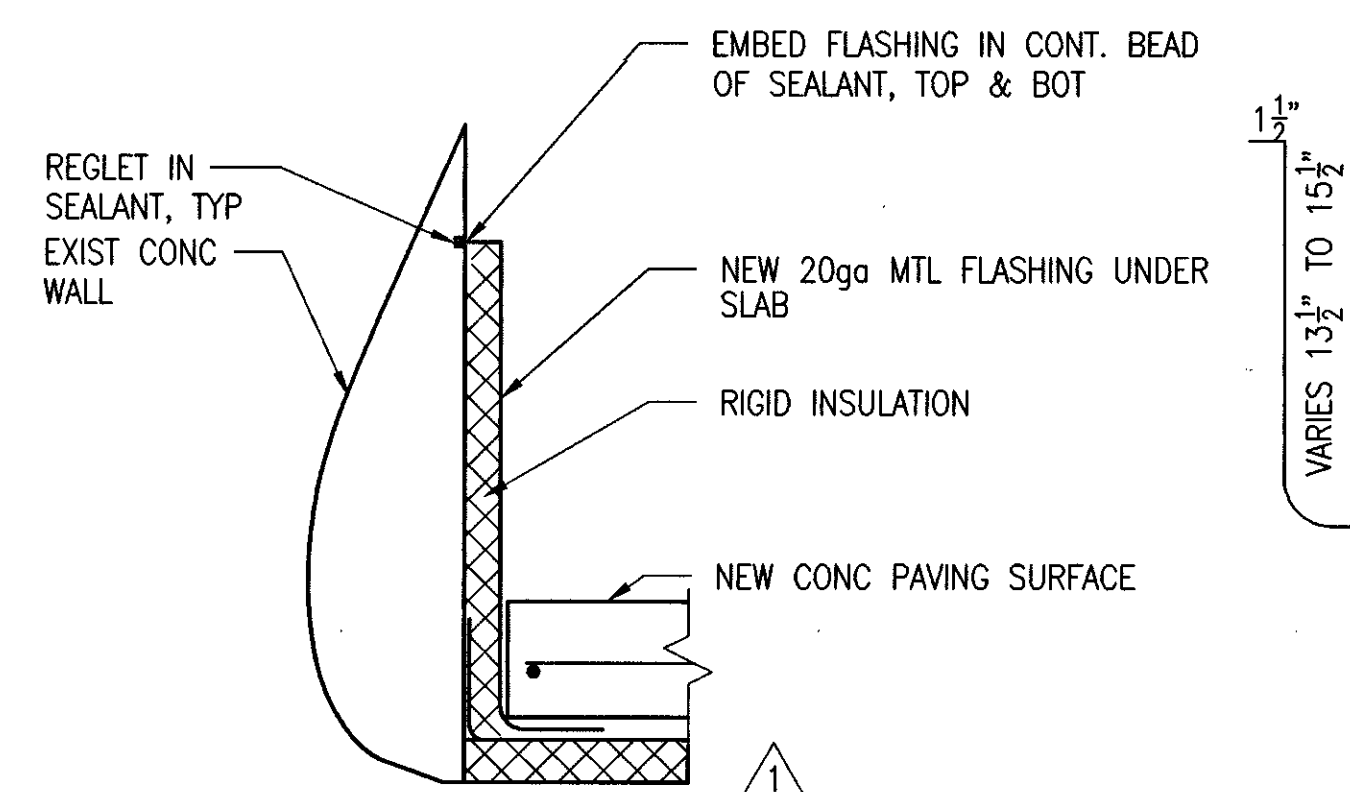
MARK	DESCRIPTION	DETAIL	QUANTITY
(A)	REMOVE & REPLACE COLUMN FLASHING	6/GA3	31
(B)	SEAL & REFASTEN COLUMN FLASHING	6/GA3	19
(C)	REMOVE & REPLACE CURB FLASHING	2/GA1	150 LIN. FT.
(D)	REMOVE & REPLACE CURB FLASHING	3/GA3	60 LIN. FT.
(E)	SEAL & REFASTEN CURB FLASHING	3/GA3	200 LIN. FT.
(F)	REMOVE & REPLACE CURB FLASHING	8/GA3	40 LIN. FT.
(G)	REMOVE & REPLACE WALL FLASHING	3/GA1	36 LIN. FT.



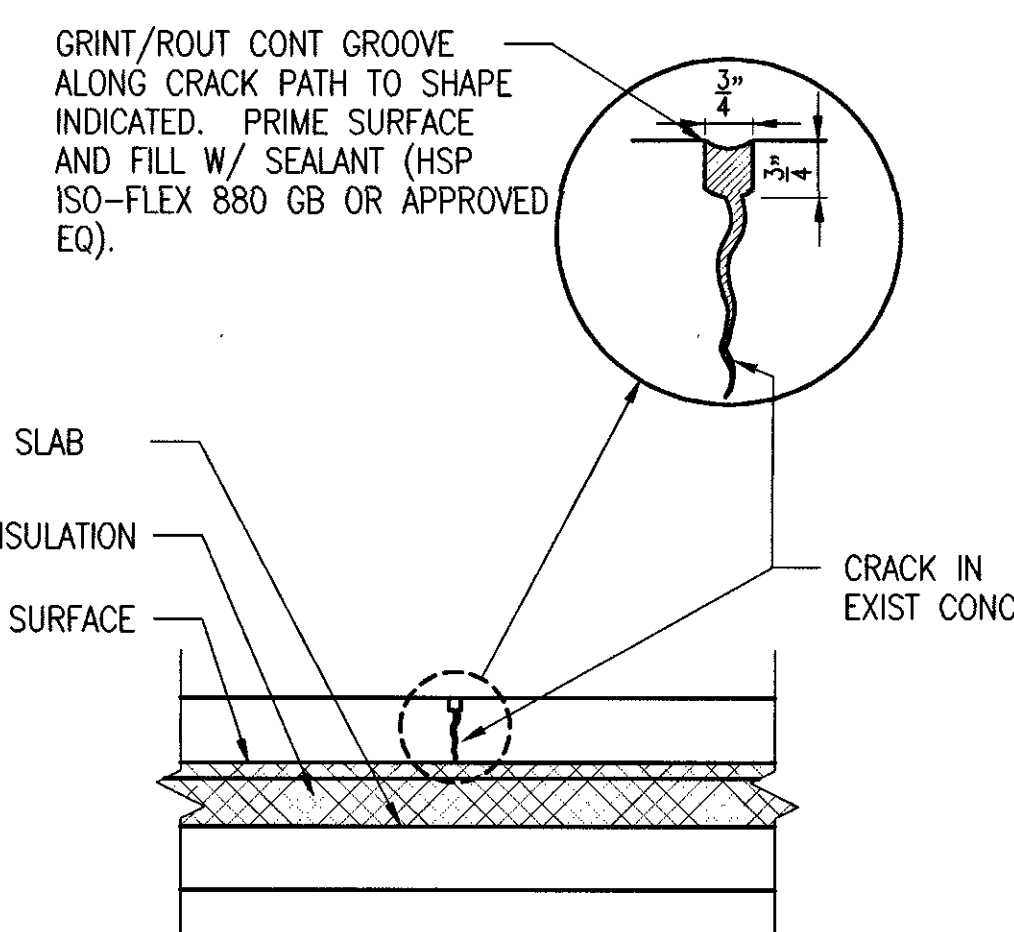
2 CURB FLASHING
1"=1'-0"

1 UPPER LEVEL PLAN
1/16"=1'-0"

NOTE:
ALL FLASHING REPAIRS SHALL BE CONSIDERED AS ADDITIVE ALTERNATE #1 WORK ITEMS.



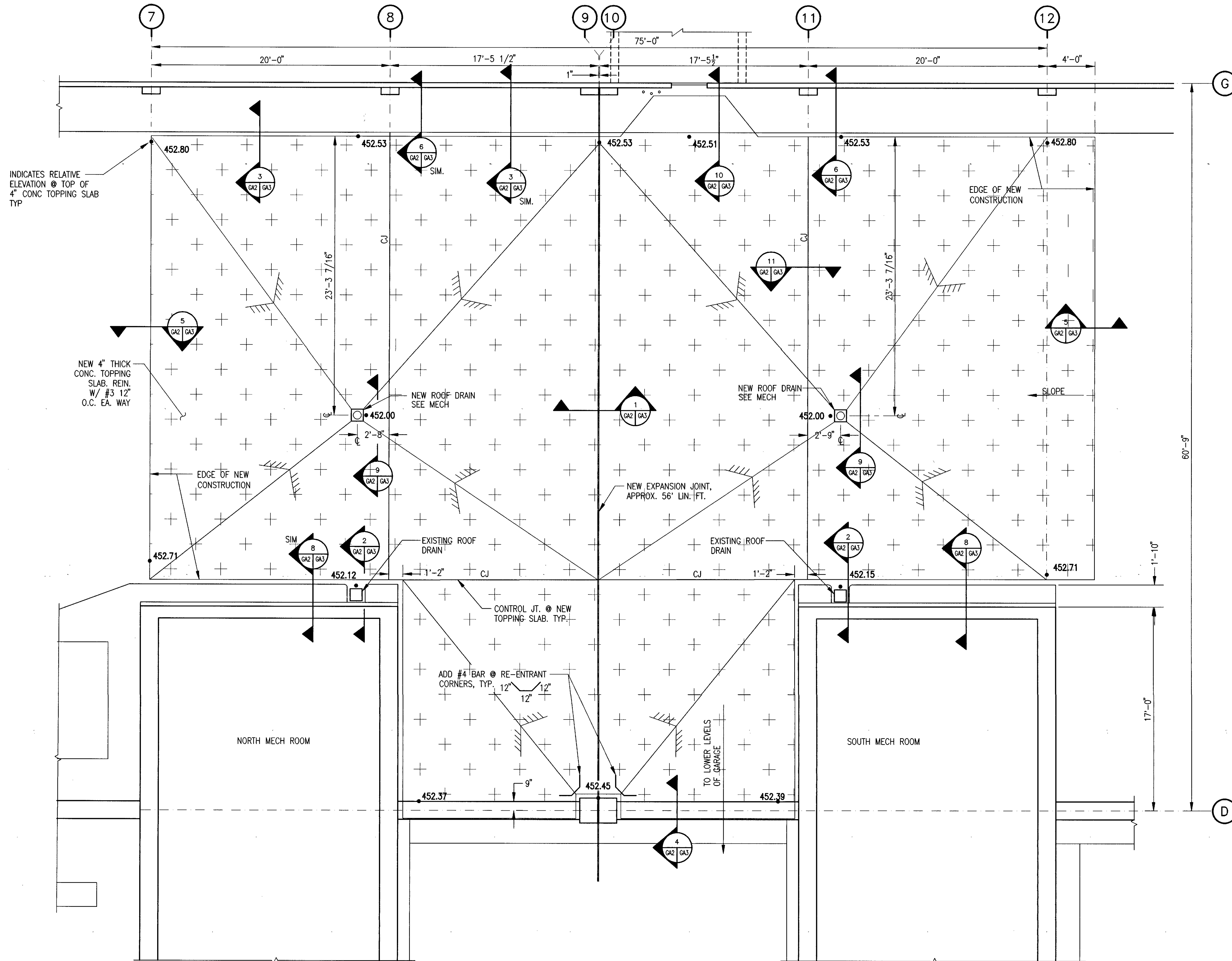
3 WALL FLASHING
1 1/2"=1'-0"



NOTE:
ALL ROUTING/GRINDING & SEALING OF CRACKS IN EXISTING CONC PAVING SURFACE SHALL BE CONSIDERED AS ADDITIVE ALTERNATE #2 WORK ITEMS. THE DEPARTMENT WILL DESIGNATE THE LOCATION AND EXTENT OF CRACKS TO BE REPAIRED, NOT TO EXCEED 500 LINEAL FEET.

ALTERNATE #2
TYP CRACK REPAIR
1"=1'-0"

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**PARTIAL ROOF PLAN
TOPPING SLAB RENOVATION**

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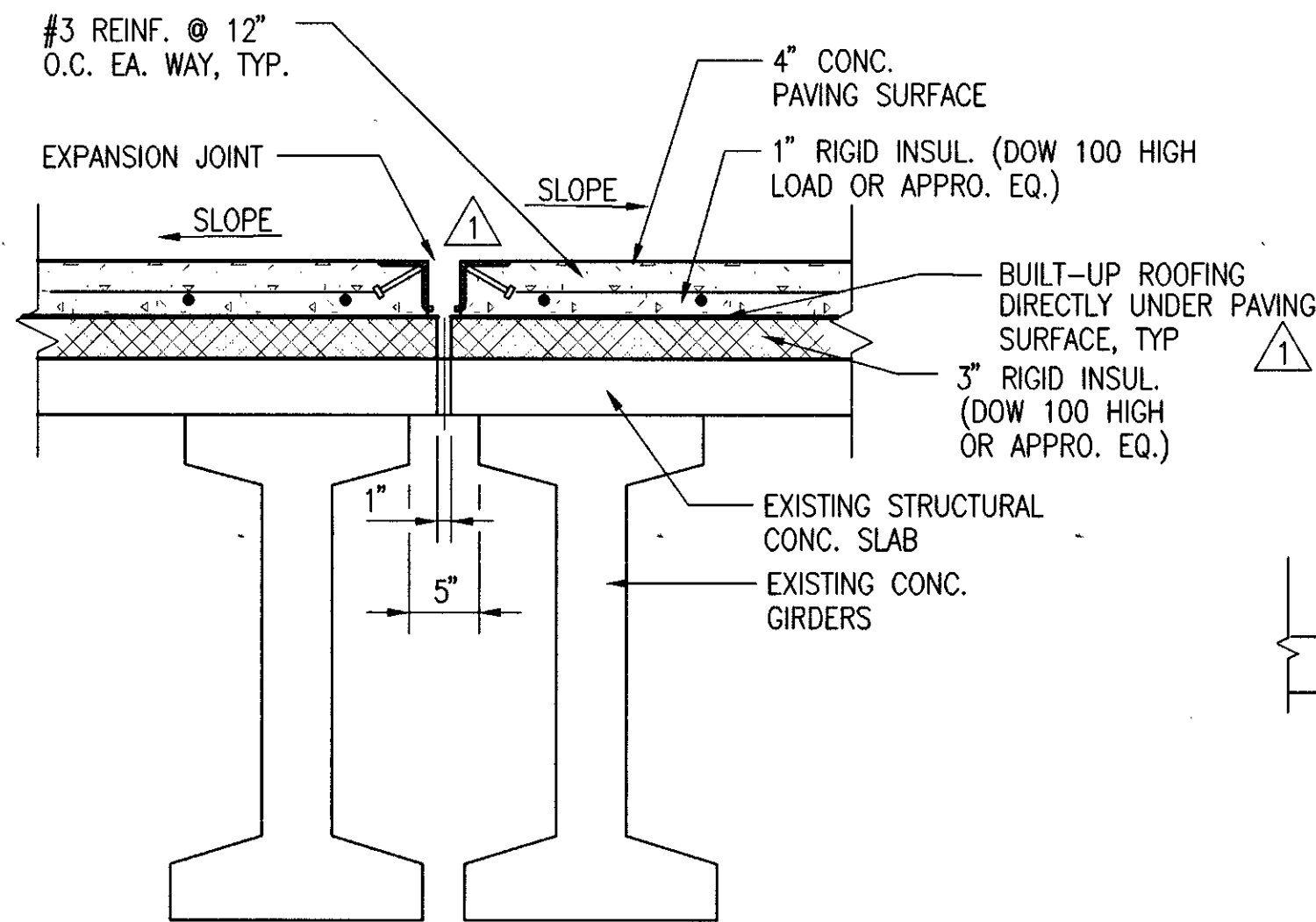
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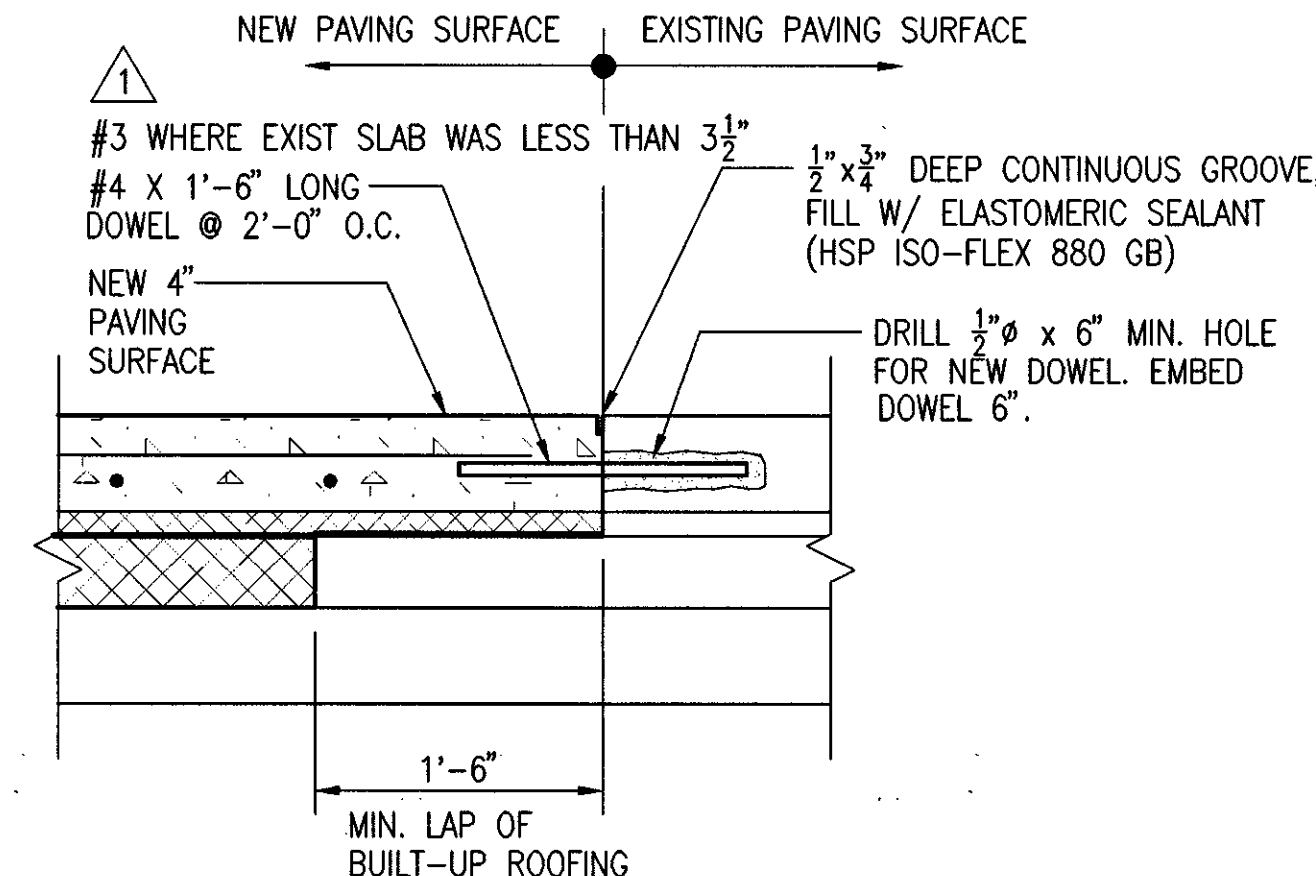
PARTIAL ROOF PLAN

sheet no.
GA2

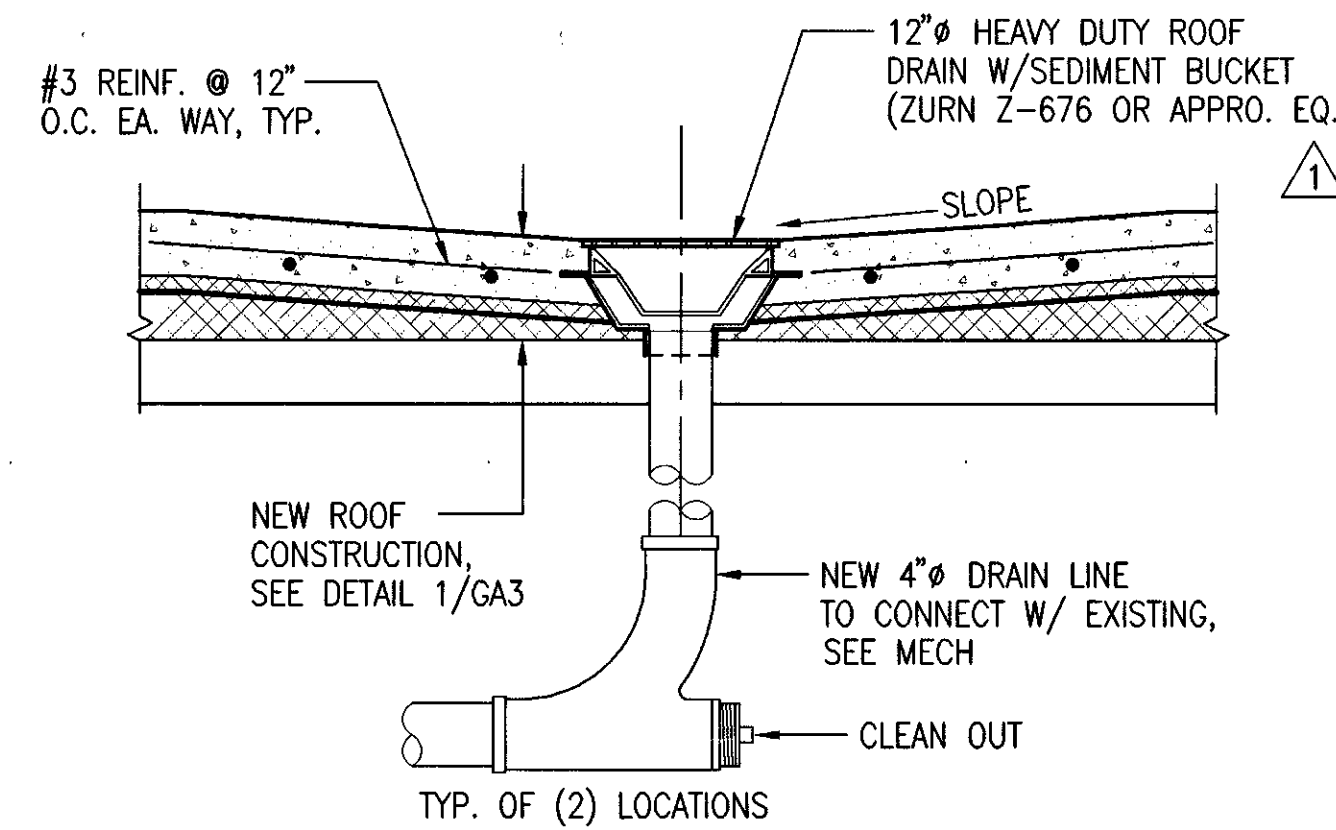


NOTE: ALL RIGID INSULATION MUST COMPLY W/ ASTM 578, TYPE V.

1 NEW EXPANSION JOINT
GA2/GA3 1"=1'-0" 1350ET1

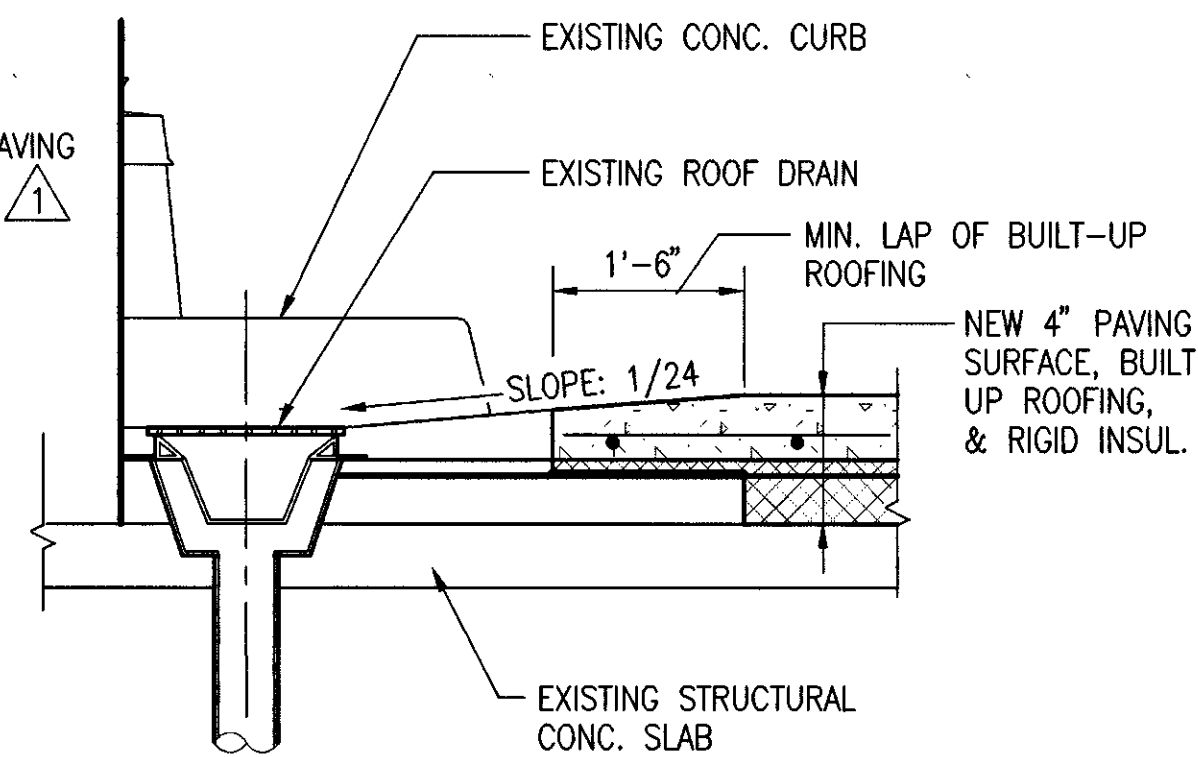


5 TYPICAL CONSTRUCTION JOINT
GA2/GA3 1 1/2"=1'-0" 1350ET5

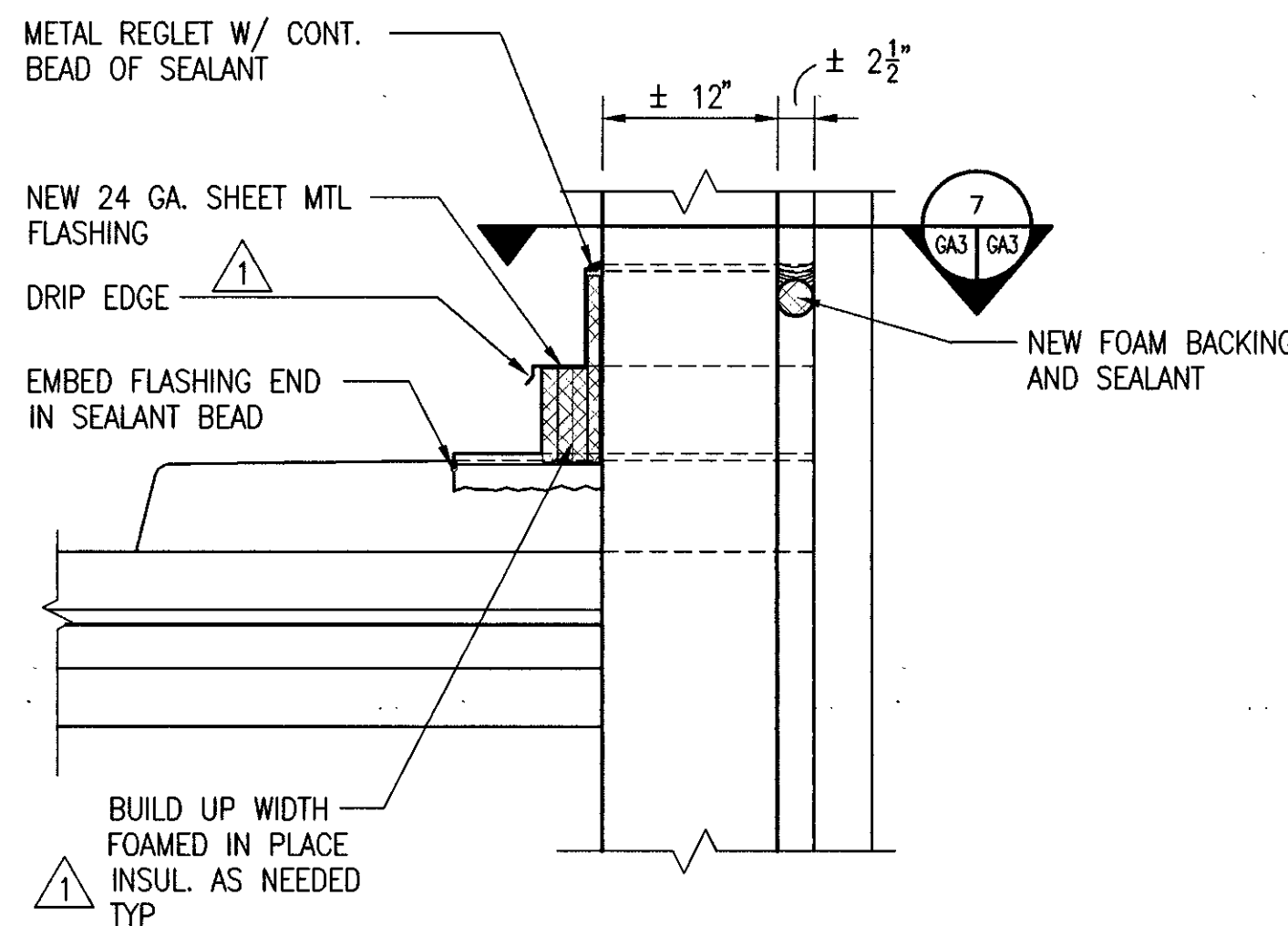


NOTES:
USE 30" x 30" x 4 lb. LEAD COLLAR, SHAPE AROUND DRAIN AND BOND/SEAL TO BUR.

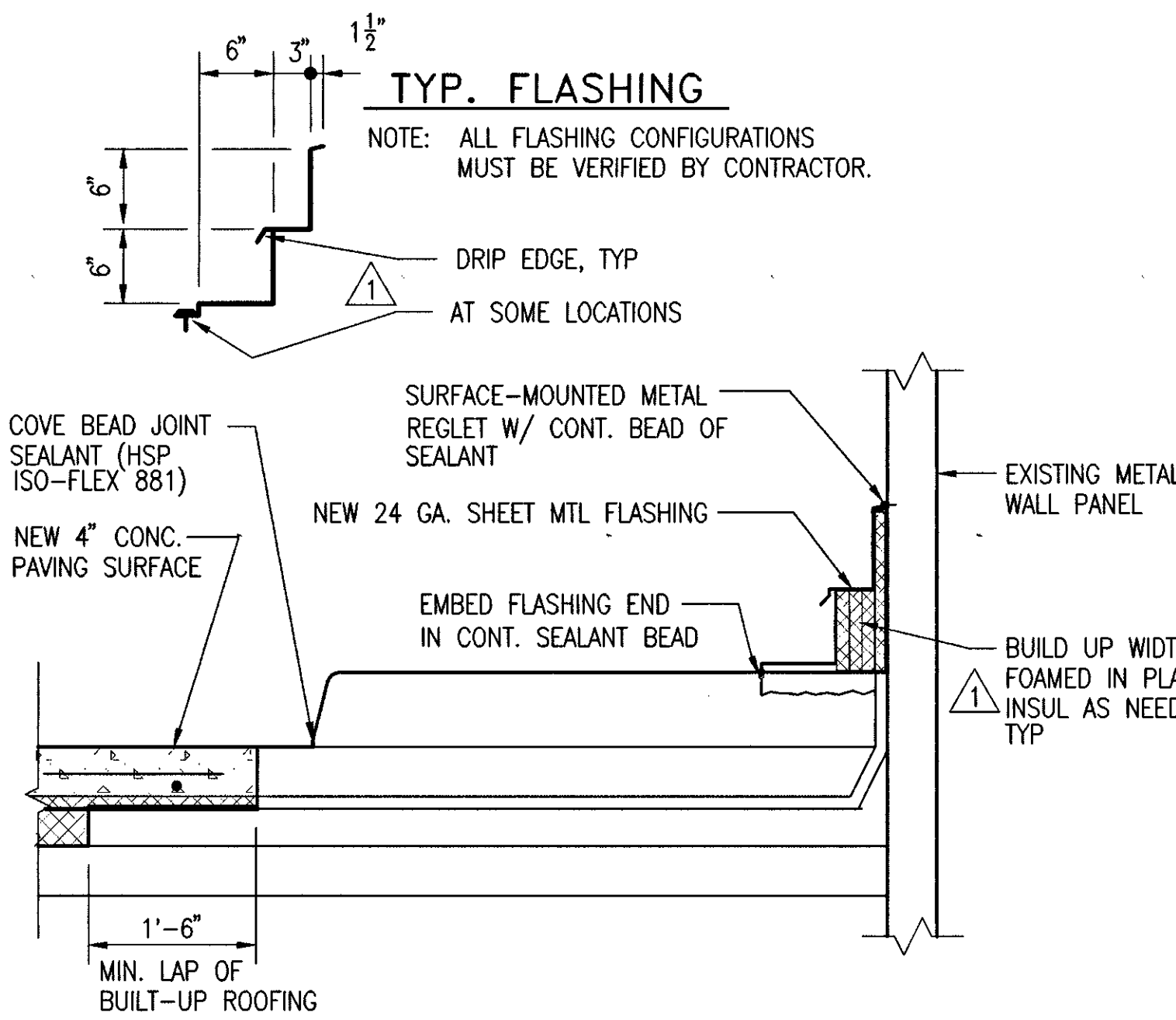
9 NEW ROOF DRAIN
GA2/GA3 1"=1'-0" 1350ET9



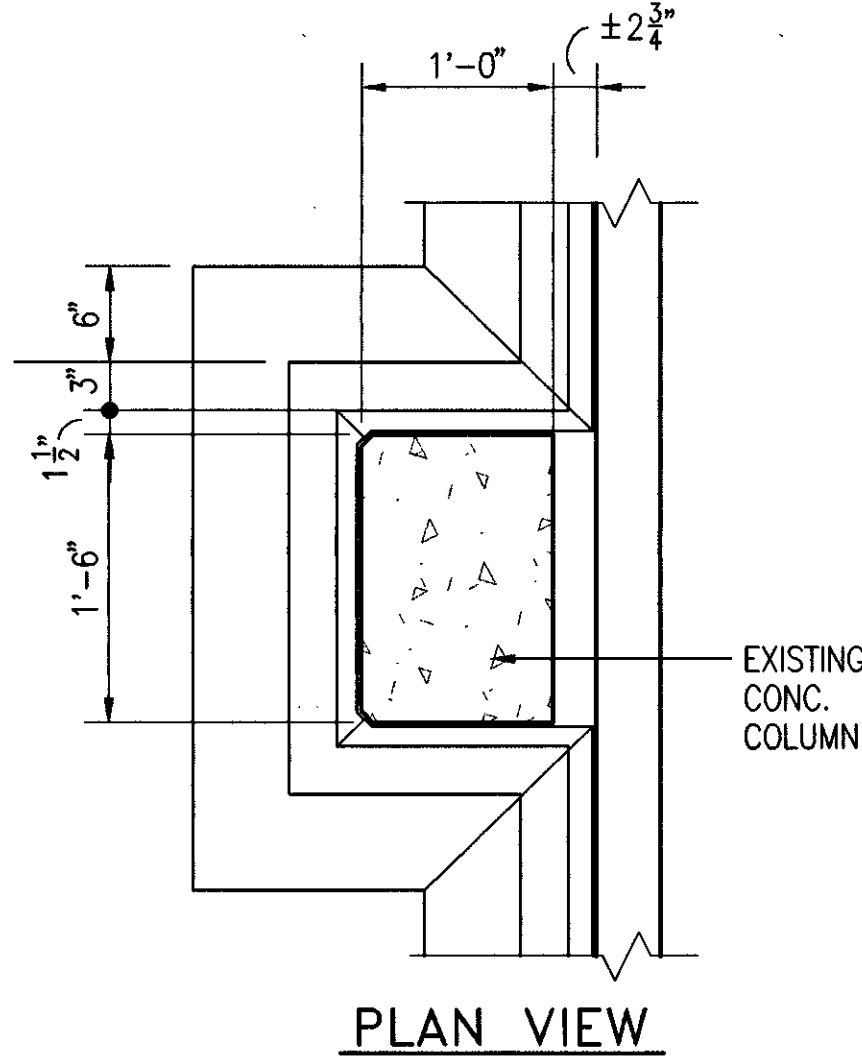
2 NEW ROOF PAVING @ EXISTING ROOF DRAIN
GA2/GA3 1"=1'-0" 1350ET2



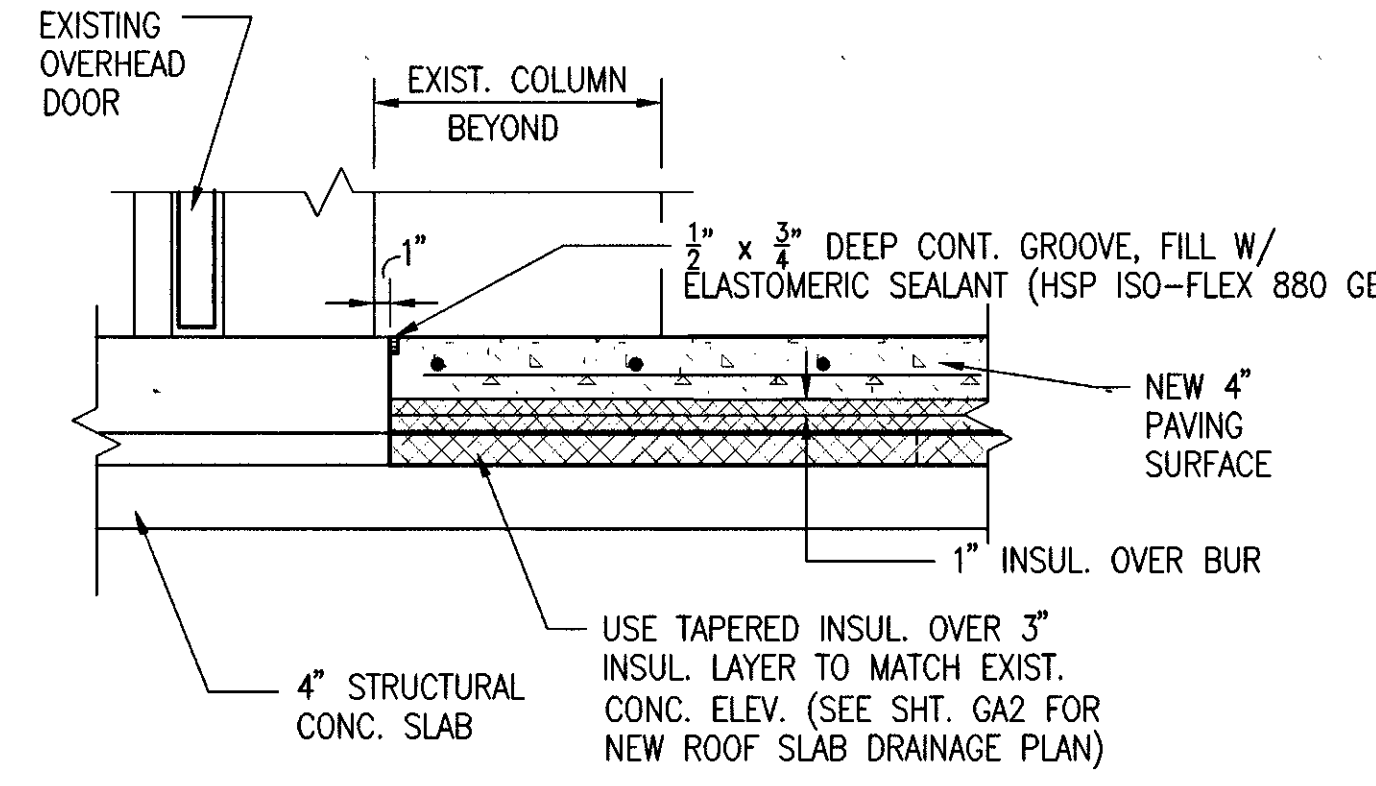
6 FLASHING @ COLUMNS
GA2/GA3 1"=1'-0" 1350ET6



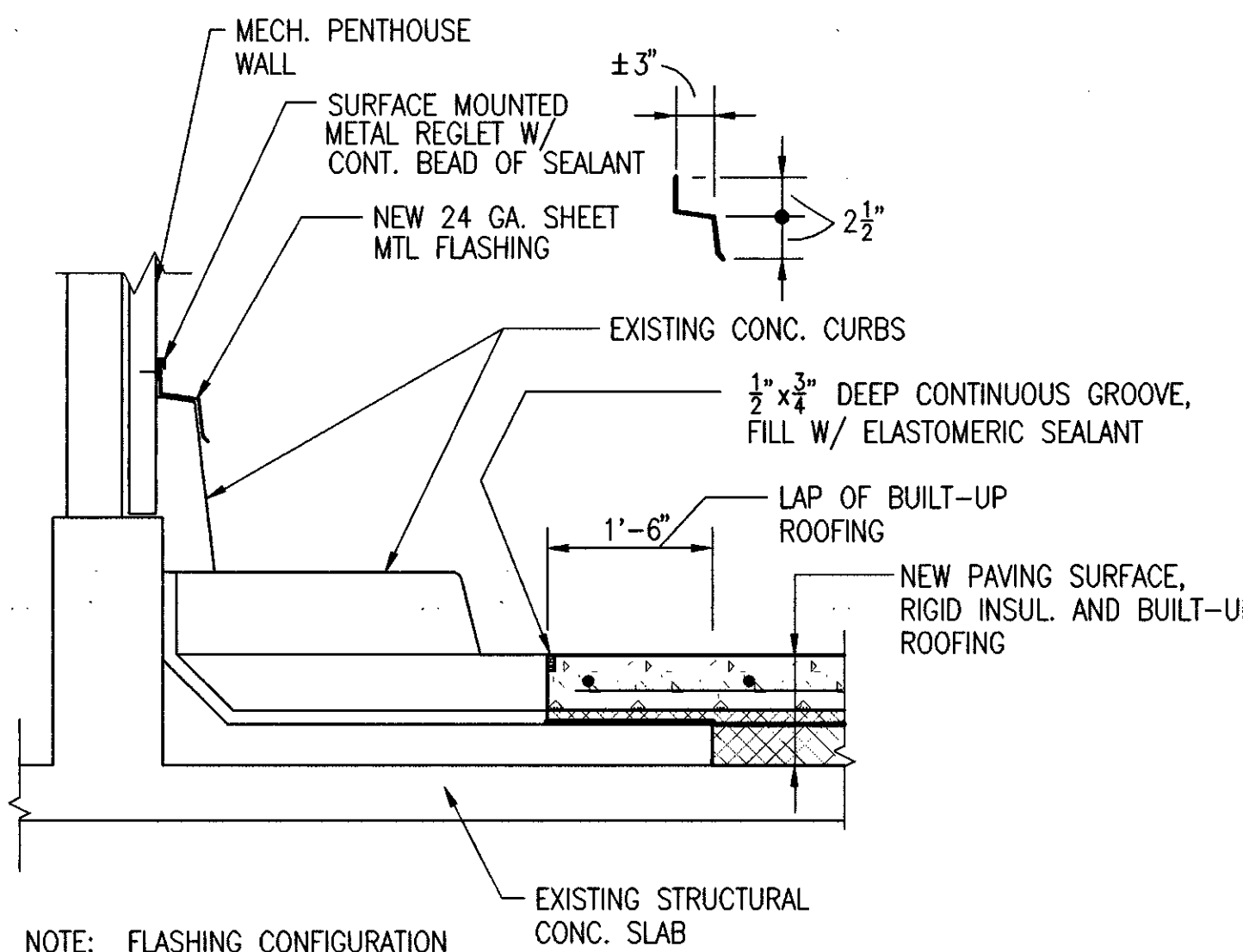
3 TYPICAL DETAIL @ CONC. CURB
GA2/GA3 1"=1'-0" 1350ET3



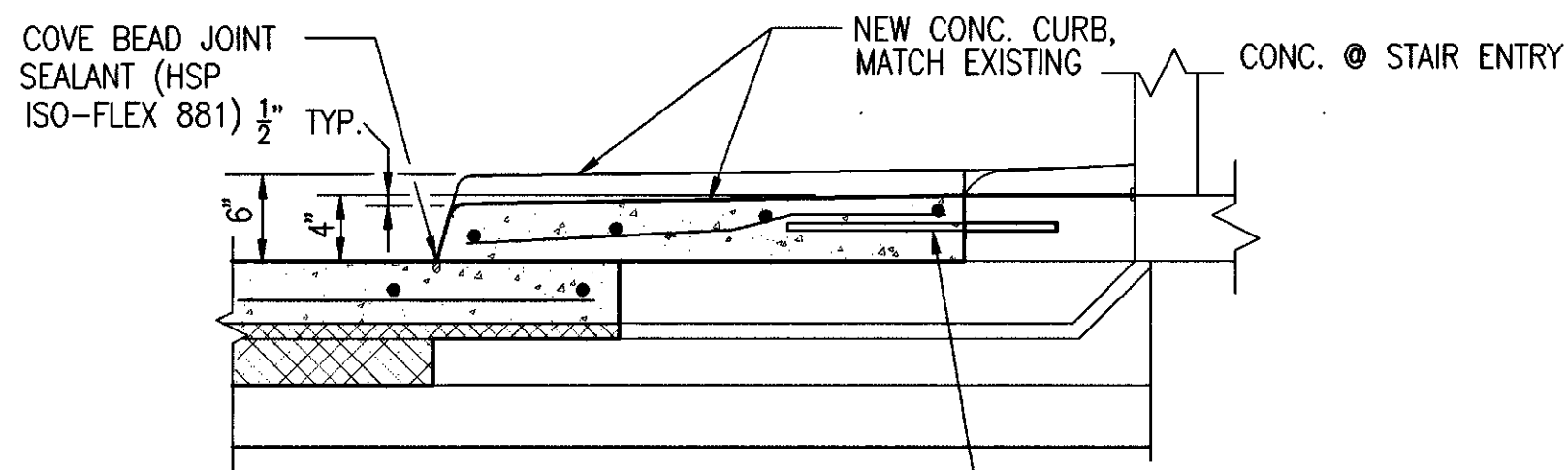
7 FLASHING DETAIL @ COLUMNS
GA2/GA3 1"=1'-0" 1350ET7



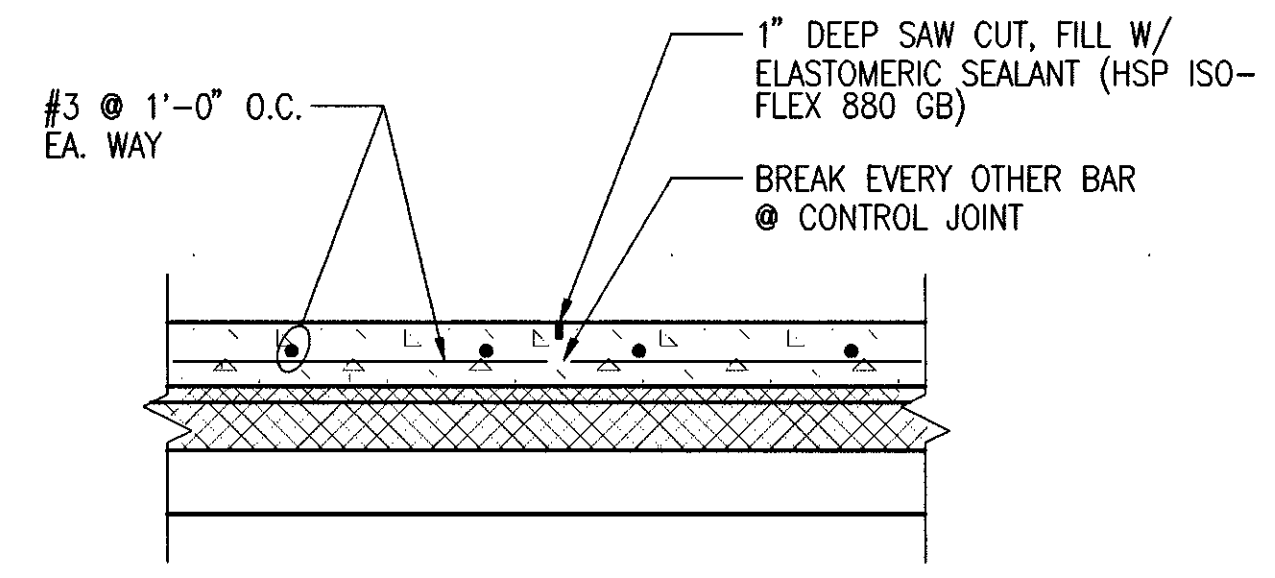
4 NEW ROOF PAVING @ OVERHEAD DOORS
GA2/GA3 1"=1'-0" 1350ET4



8 TYPICAL DETAIL @ MECH. PENTHOUSE
GA2/GA3 1"=1'-0" 1350ET8



10 NEW CURB @ STAIR DOOR
GA2/GA3 1"=1'-0" 1350ET10



11 TYP. CONTROL JOINT
GA2/GA3 1"=1'-0" 1350ET11

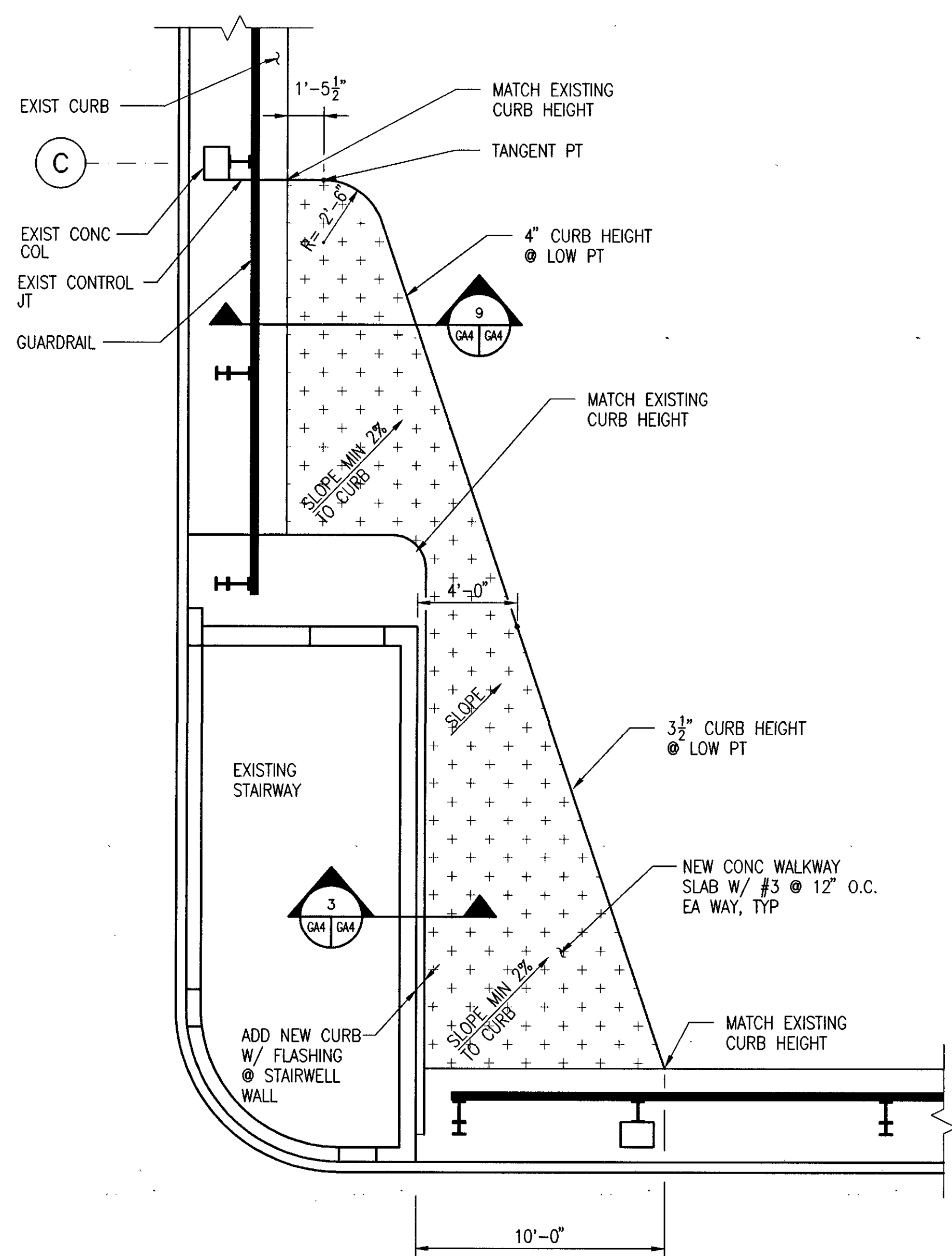
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DATE: BY:

STATE OF ALASKA DOT/PF
FAIRBANKS STATE PARKING GARAGE
ROOF DECK REPAIRS
PROJECT NO. 96-25-2-50

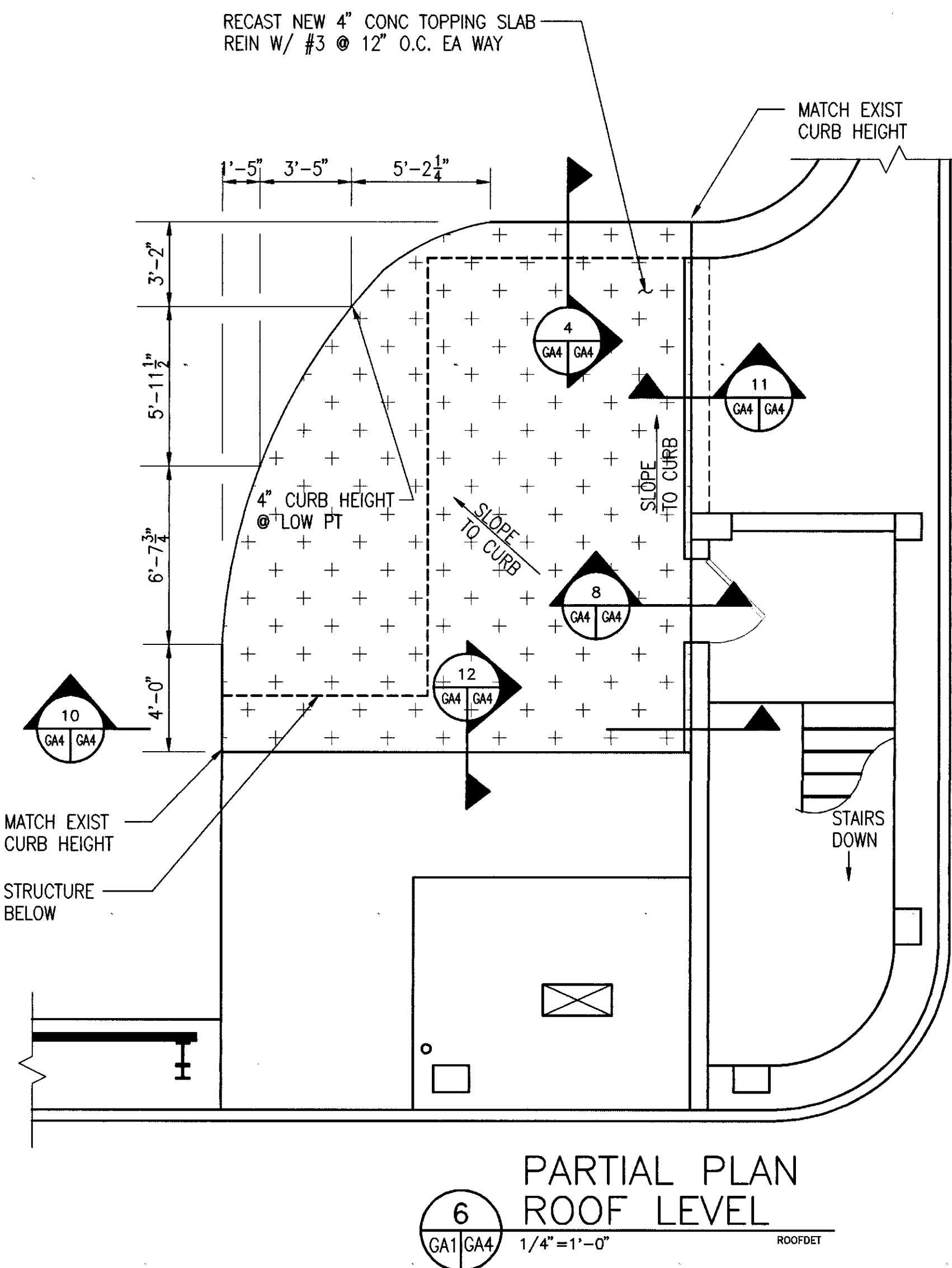
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checked: JLL
revised:
AS-BUILT
SEPT 1996

SECTIONS & DETAILS

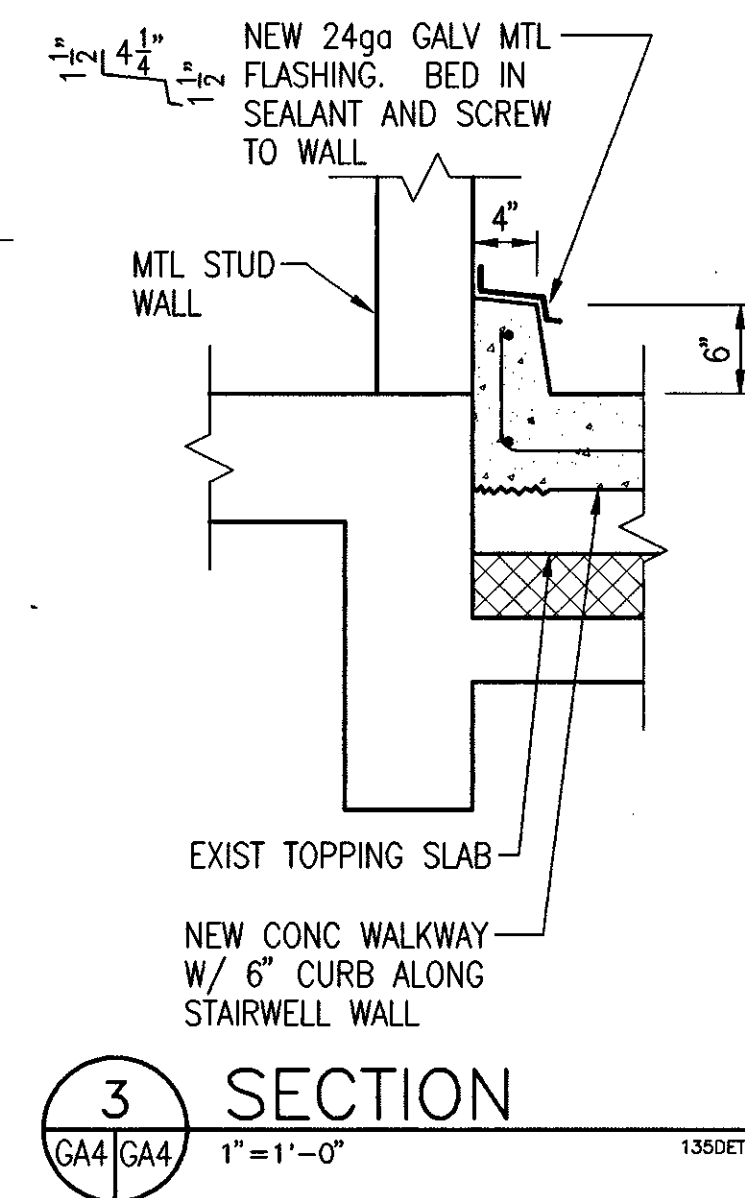
sheet no.
GA3



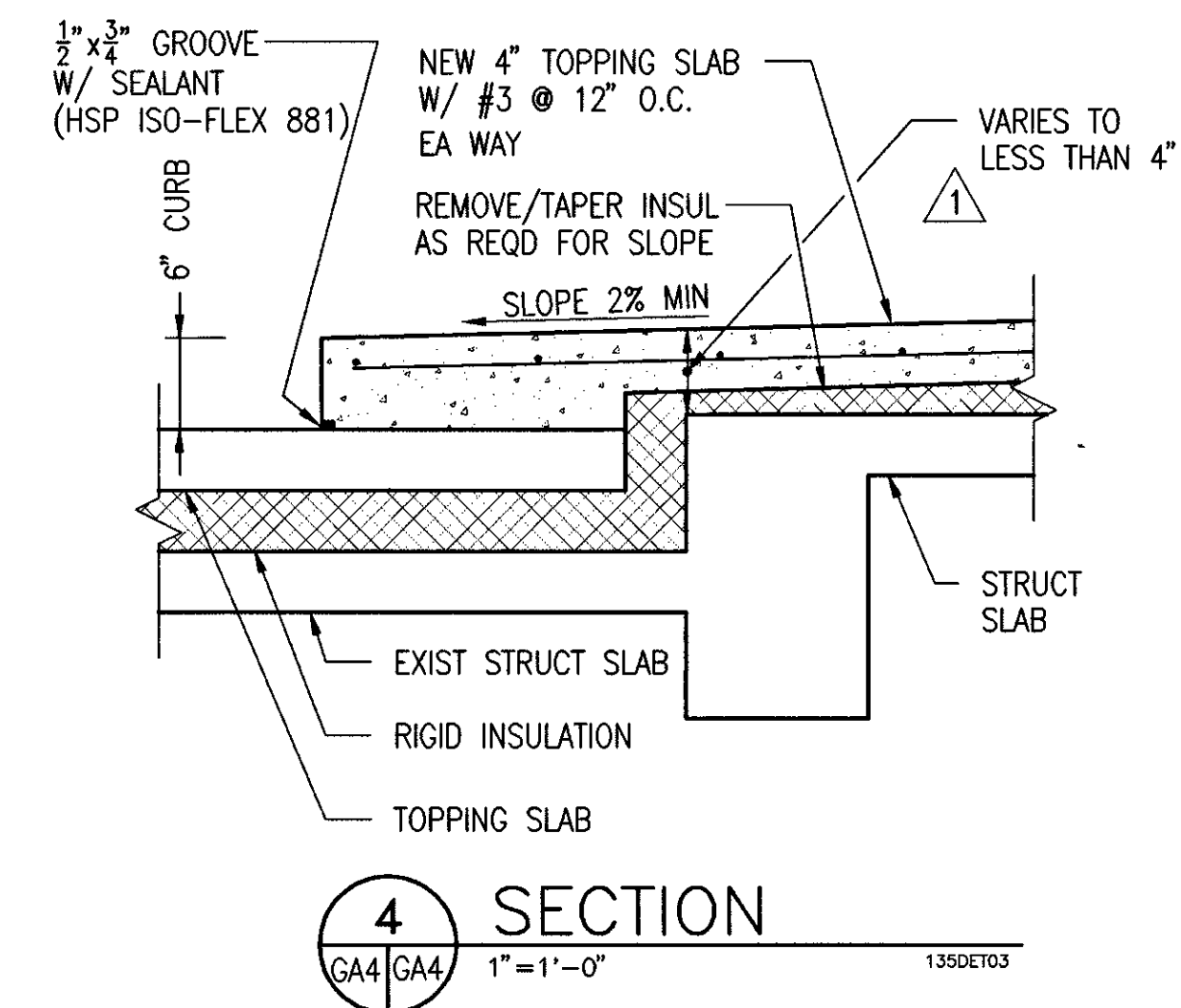
5 ALTERNATE #3
PARTIAL PLAN ROOF LEVEL
GA4/GA4 1/4" = 1'-0" 1350ET15



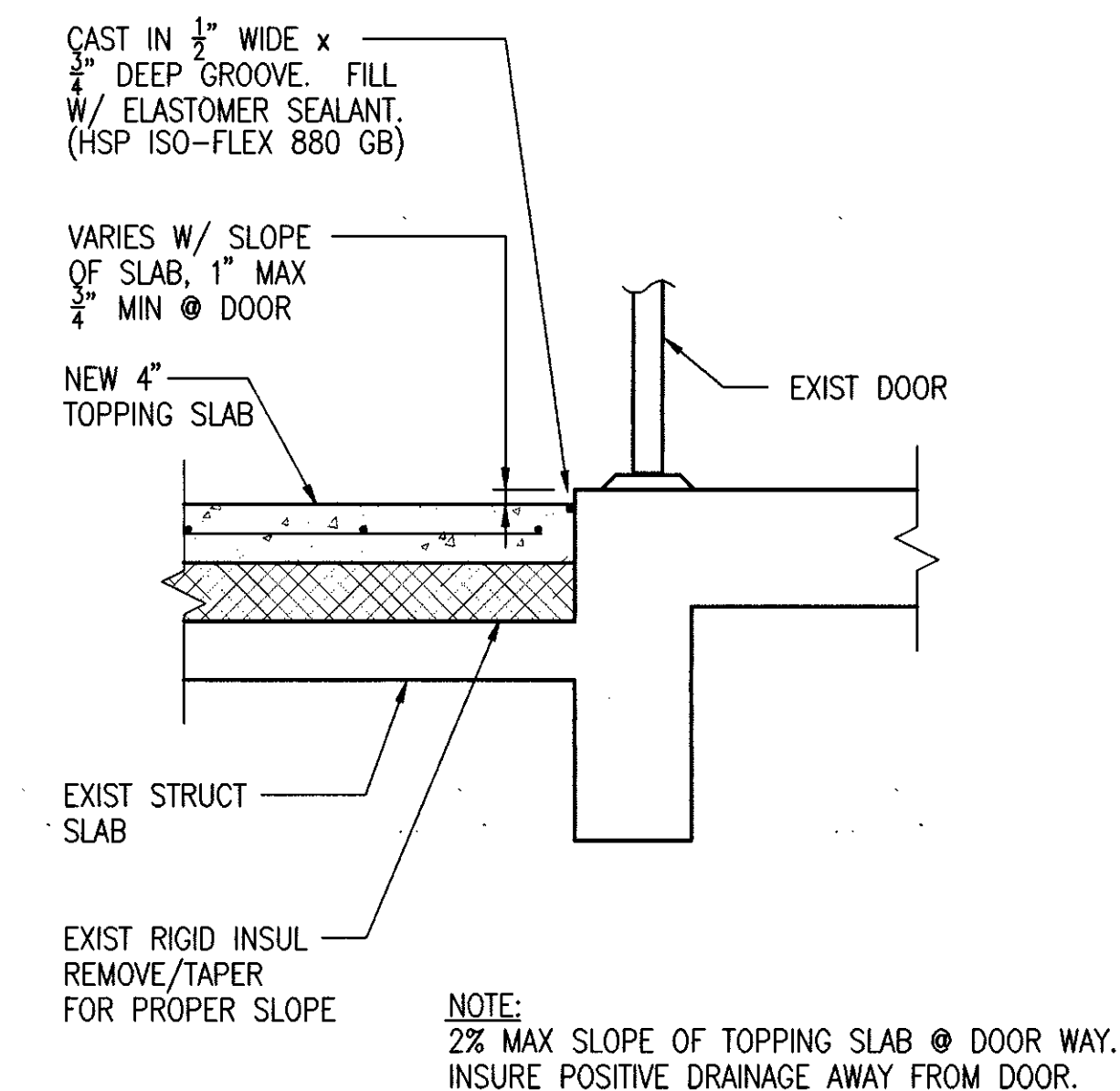
6 PARTIAL PLAN
ROOF LEVEL
GA4/GA4 1/4" = 1'-0" 1350ET22



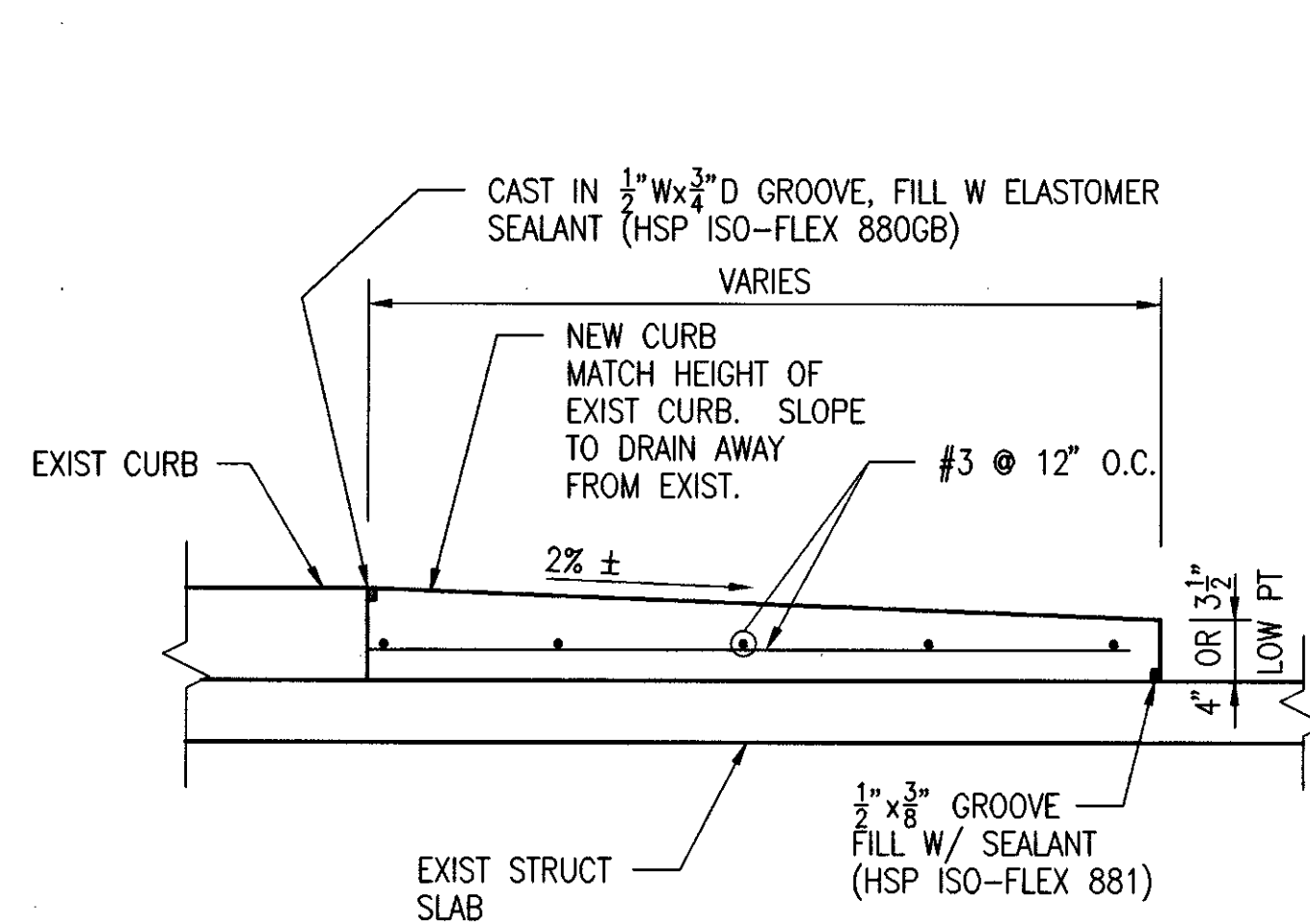
3 SECTION
GA4/GA4 1" = 1'-0" 1350ET22



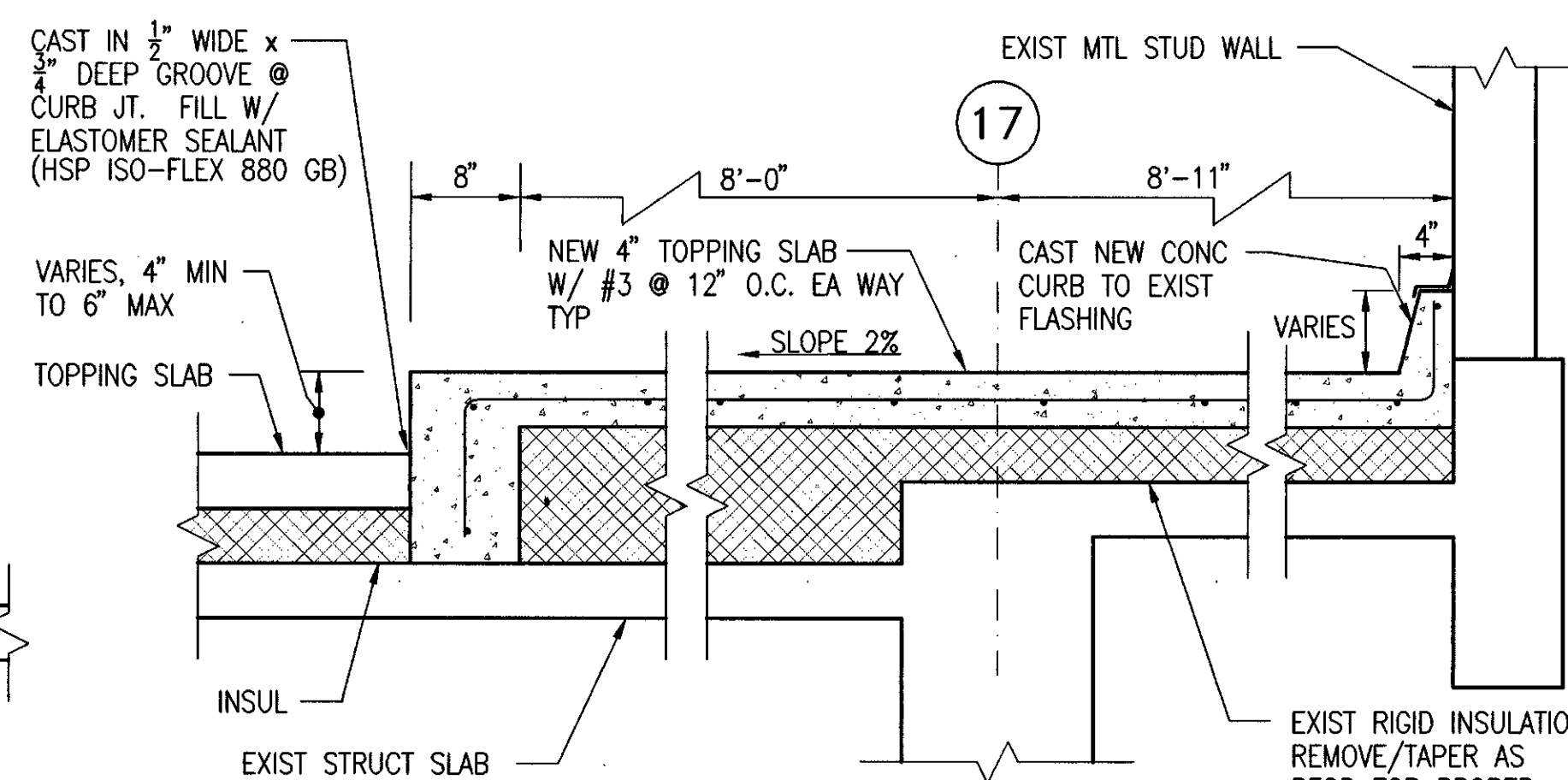
4 SECTION
GA4/GA4 1" = 1'-0" 1350ET03



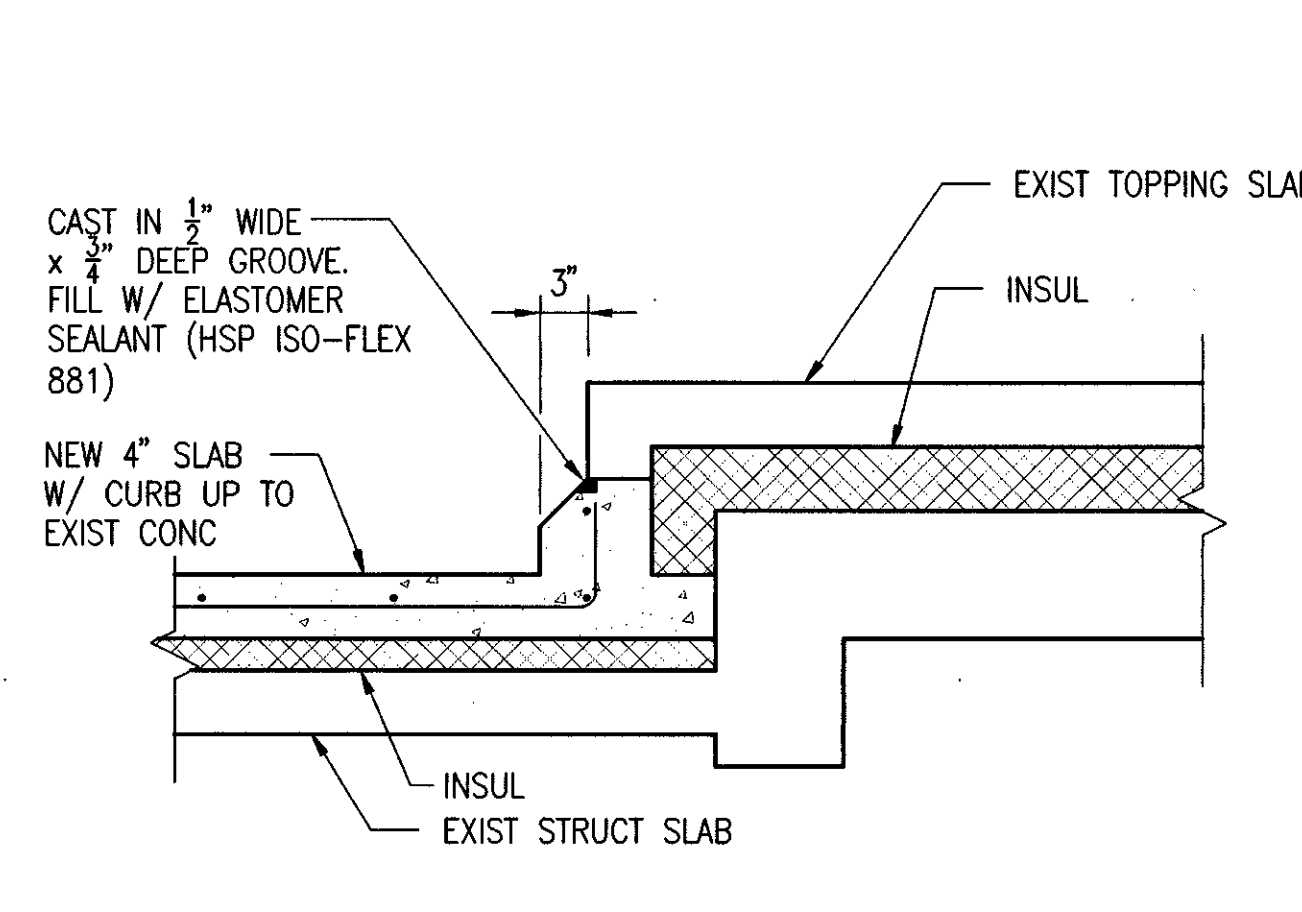
8 SECTION @ DOOR
GA4/GA4 1" = 1'-0" 1350ET05



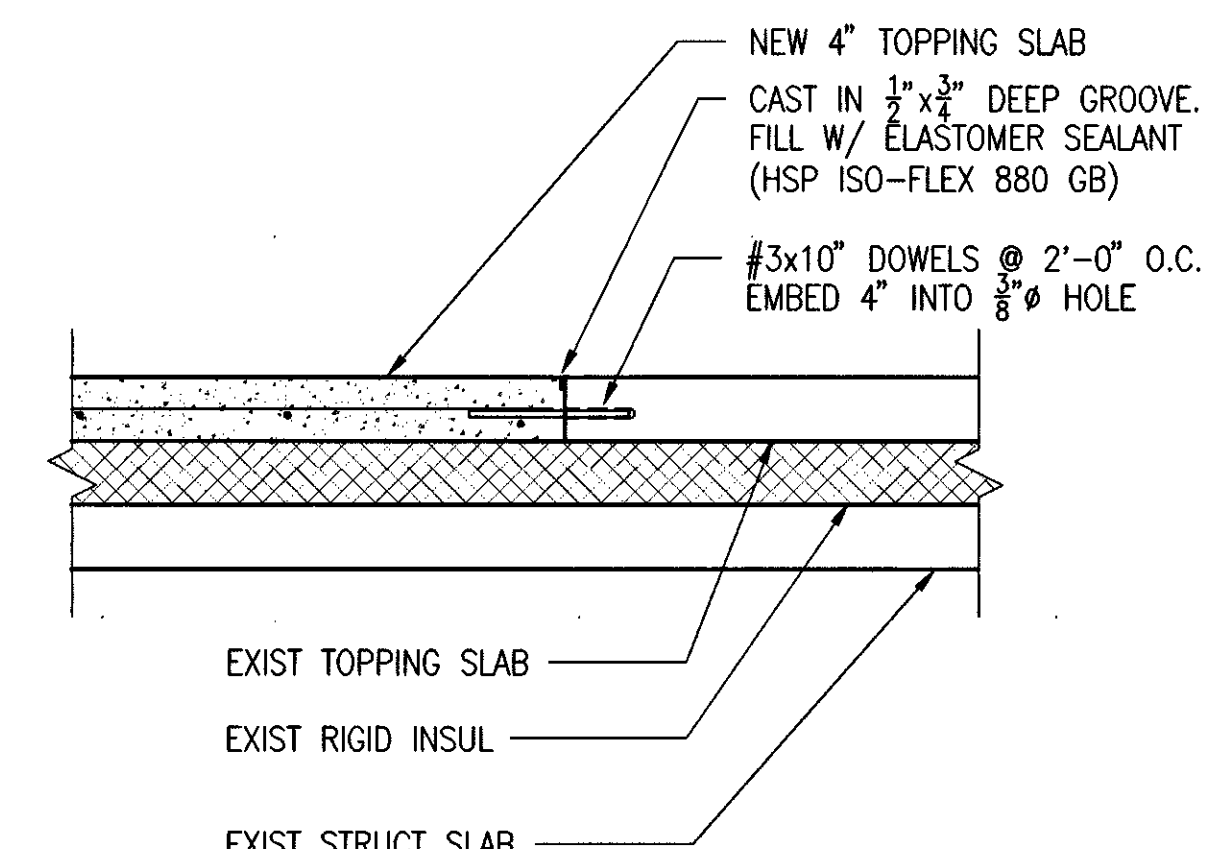
9 SECTION
GA4/GA4 1" = 1'-0" 1350ET16



10 SECTION
GA4/GA4 1" = 1'-0" 1350ET02



11 SECTION
GA4/GA4 1" = 1'-0" 1350ET04



12 SECTION
GA4/GA4 1" = 1'-0" 1350ET08

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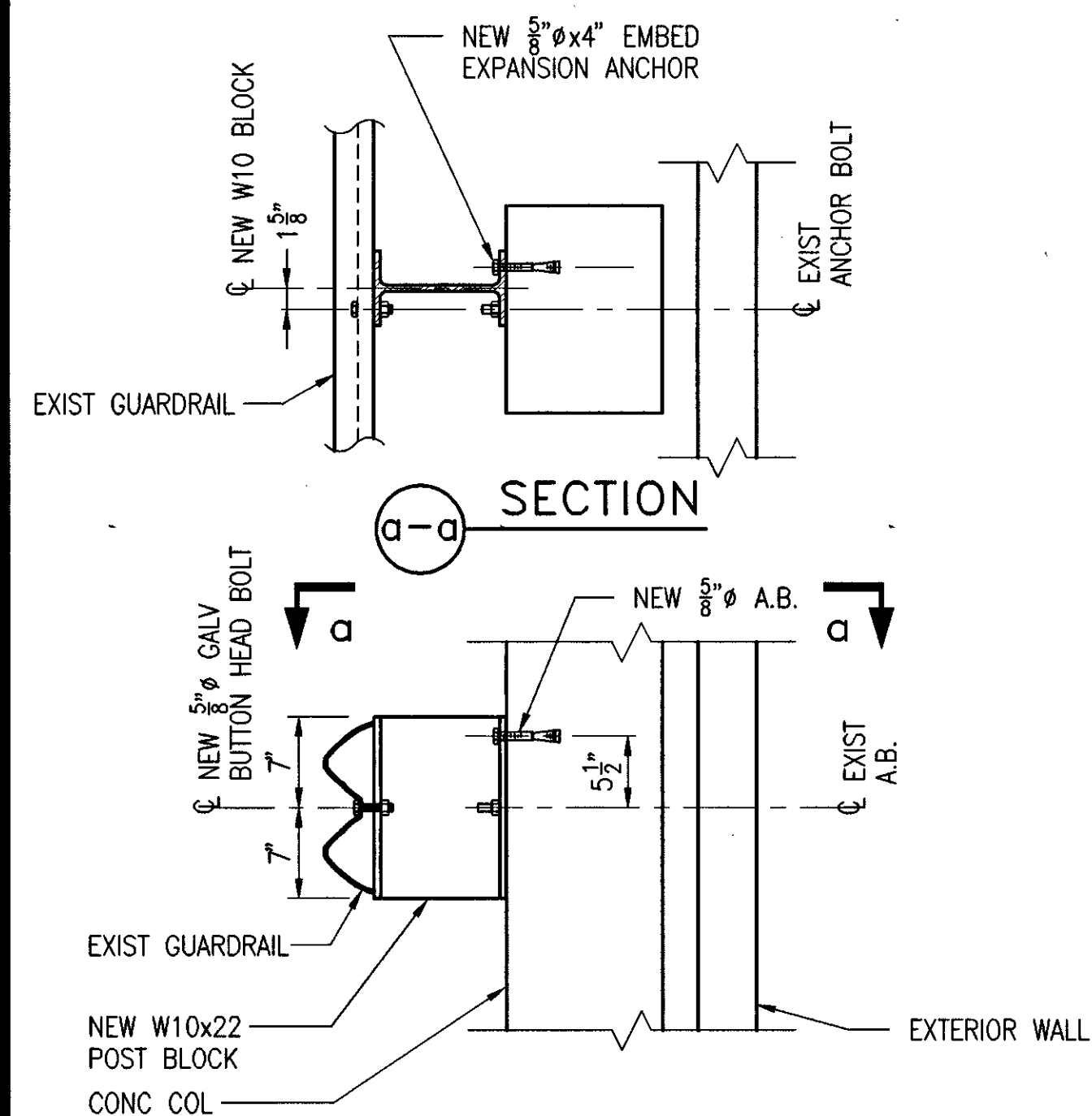
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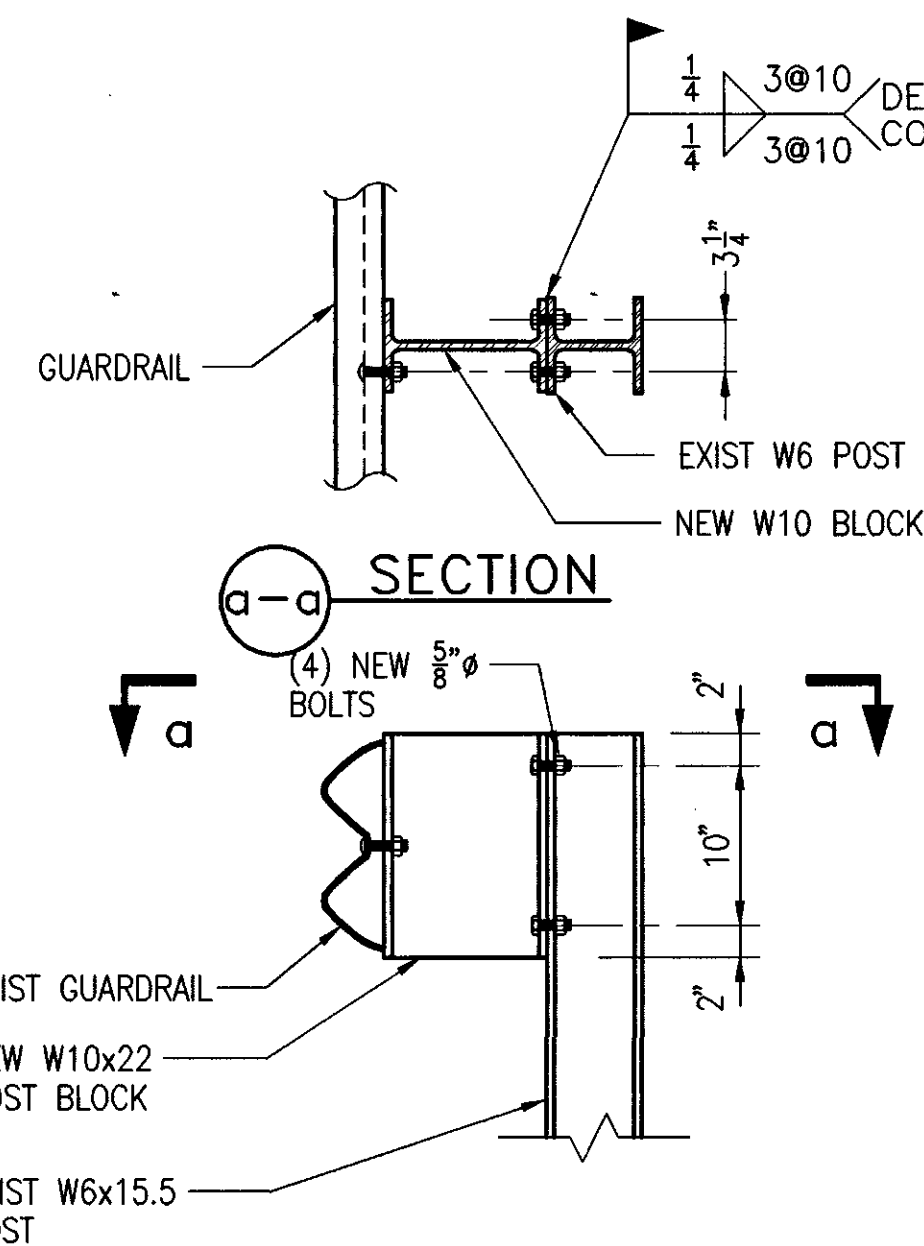
PARTIAL PLANS
SECTIONS & DETAILS

sheet no.
GA4



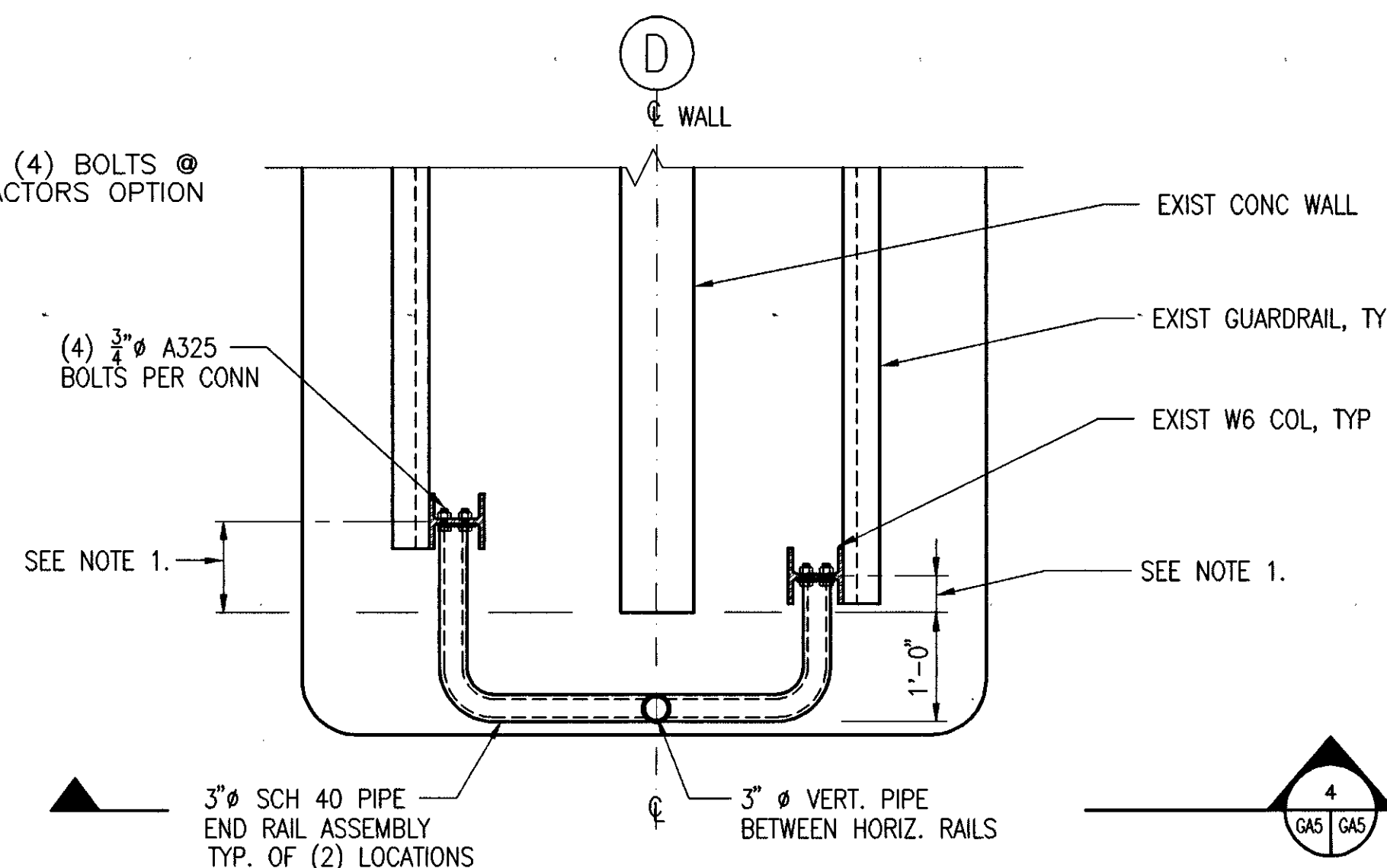
- NOTES:
- 1) GUARDRAIL TO BE MOVED INWARD 10" USING W10 POST BLOCK.
 - 2) ALL FASTENERS EXPOSED TO WEATHER SHALL BE GALVANIZED OR STAINLESS STEEL, TYPICAL.
 - 3) USE DOUBLE POST BLOCK WHERE GUARDRAIL SPLICED @ COL.
 - 4) THIS DETAIL TYPICAL OF (41) LOCATIONS.

SECTION @
1 PERIMETER GUARDRAIL
1"=1'-0"
1350ET07



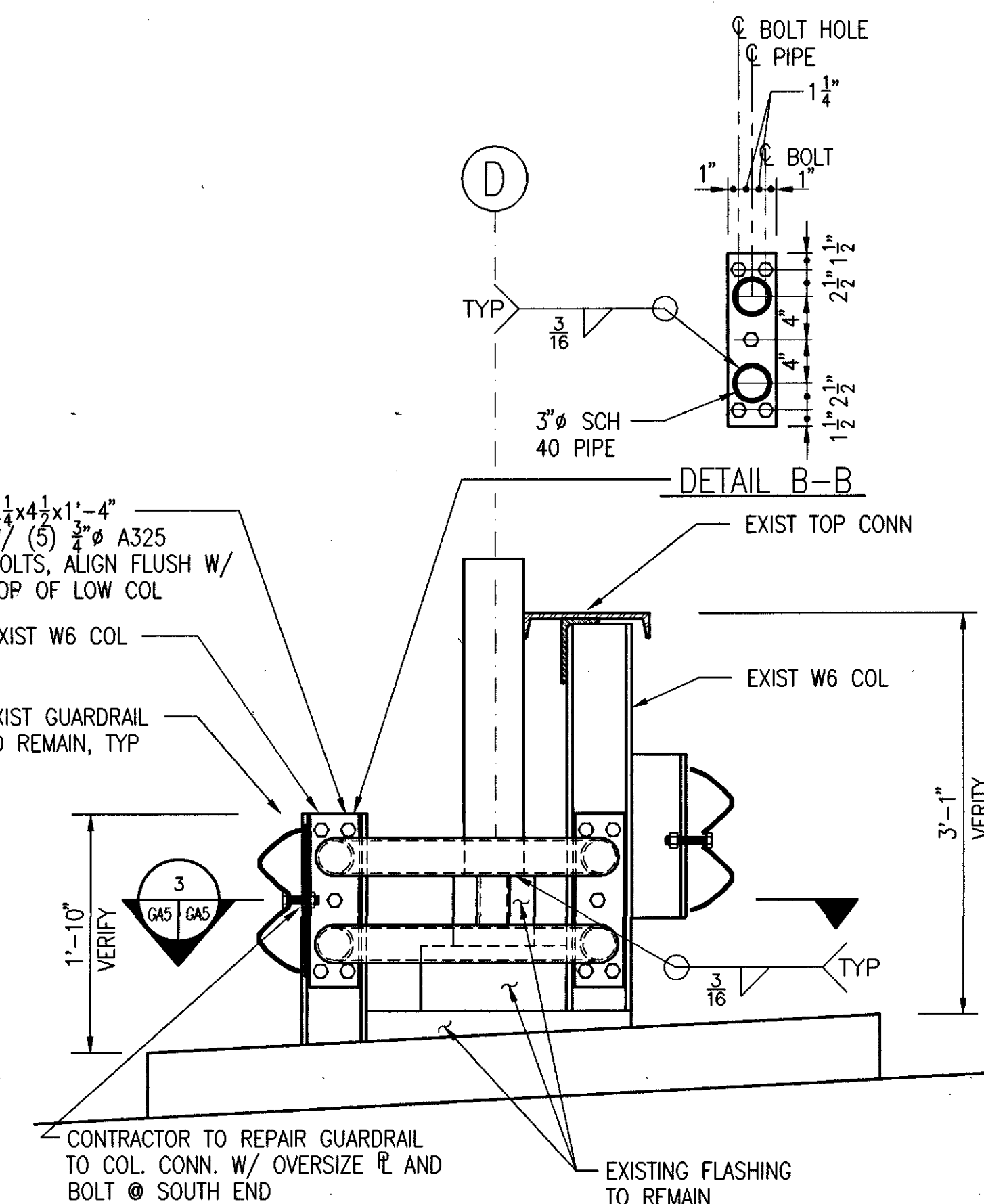
NOTE:
THIS DETAIL TYPICAL OF (40) LOCATIONS.

SECTION @
2 PERIMETER GUARDRAIL
1"=1'-0"
1350ET08

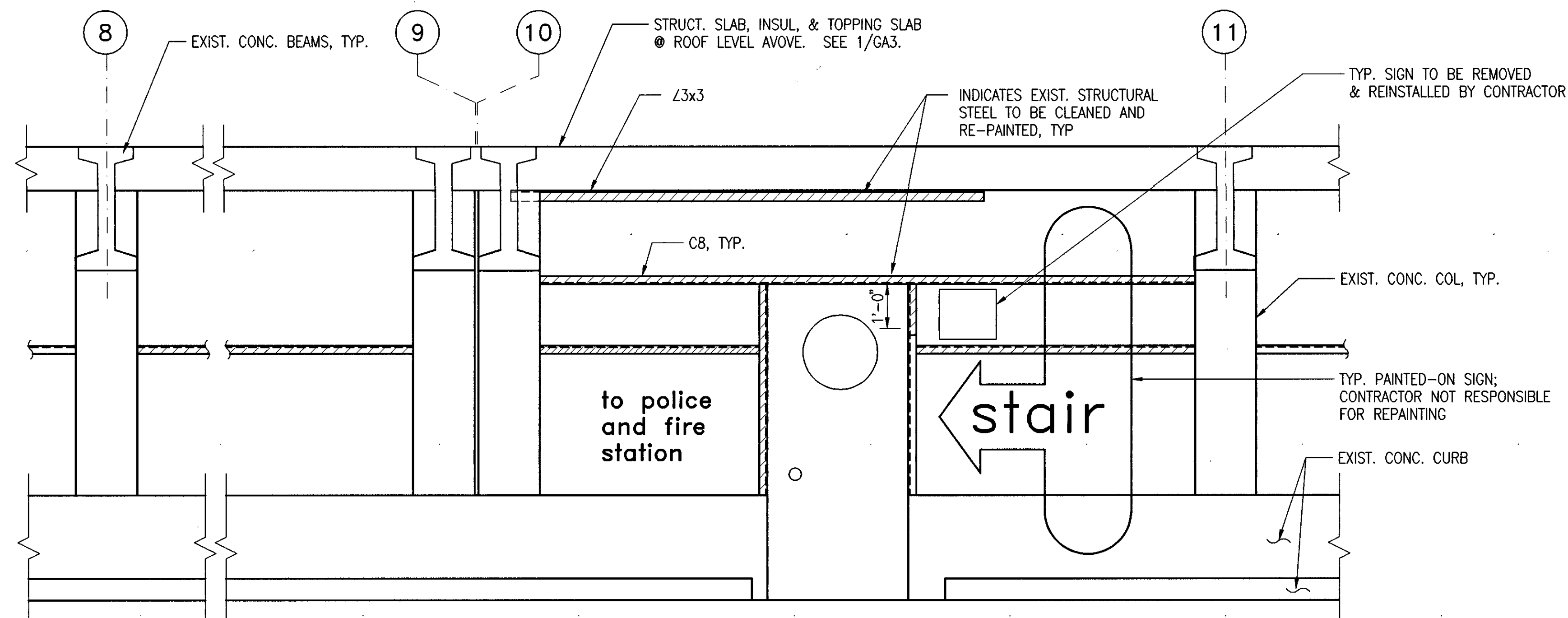


- NOTES:
- 1) SET BACK OF W6 COLUMNS FROM END OF CONC WALL VARIES @ NORTH & SOUTH ENDS OF PARKING STRUCTURE. CONTRACTOR TO VERIFY PRIOR TO FABRICATION OF NEW PIPE END RAIL.
 - 2) EXISTING GUARDRAIL ENDS & (1) W6 COL ARE DAMAGED. CONTRACTOR NOT RESPONSIBLE FOR STRAIGHTENING OR REPLACEMENT. W6 COL TO BE CLEANED & REPAINTED @ AREAS OF CORROSION. ENSURE SNUG CONNECTION OF EXIST GUARDRAIL TO COL.

3 PARTIAL PLAN
3/4"=1'-0"
1350ET21



4 SECTION
1"=1'-0"
1350ET22



9 ALTERNATE #4
PARTIAL WALL ELEVATION
1/2"=1'-0"
UNNAMED

- NOTES:
- 1) REMOVE AND REINSTALL ALL REMOVABLE SIGNS IN THE AREA TO BE CLEANED AND REPAINTED.
 - 2) GIRTS TO BE CLEANED BY SSPC-SP11 "POWER TOOL CLEANING TO BARE METAL" AFTER CLEANING, APPLY PRIMER COAT AND TWO COATS OF SEMI-GLOSS ALKYD ENAMEL PAINT TO MATCH EXISTING GIRTS. EXTENT OF GIRT CORROSION SHOWN ON DWG.
 - 3) METAL WALL PANEL SURFACES BETWEEN GRIDS '8' AND '11' SHALL BE CLEANED OF ALL STAINS BY SSPC-SP3 "POWER TOOL CLEANING". APPLY PRIMER COAT AND FINISH WITH (2) COATS SEMI-GLOSS ENAMEL TO MATCH EXISTING PAINT COLOR. REPLACEMENT OF PAINTED SIGNS NOT REQUIRED.
 - 4) CORRODED CONDUIT BETWEEN GRIDS '8' AND '11' SHALL BE CLEANED BY SSPC-SP3 AND PAINTED WITH GALVANIZED PAINT.

RECORD DRAWING	
THIS RECORD DRAWING HAS BEEN PREPARED FROM INFORMATION FURNISHED BY THE CONSTRUCTION CONTRACTOR AND THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED.	
LOFTUS ENGINEERING, ASSOC.	
DATE: _____	BY: _____

Loftus Engineering Associates, Inc.
Project management • structural engineering

STATE OF ALASKA DOT/PF
FAIRBANKS STATE PARKING GARAGE
ROOF DECK REPAIRS
PROJECT NO. 96-25-2-50

date: 5/10/96
drawn: VNG
designed: PWR
checked: JJJ
revised:

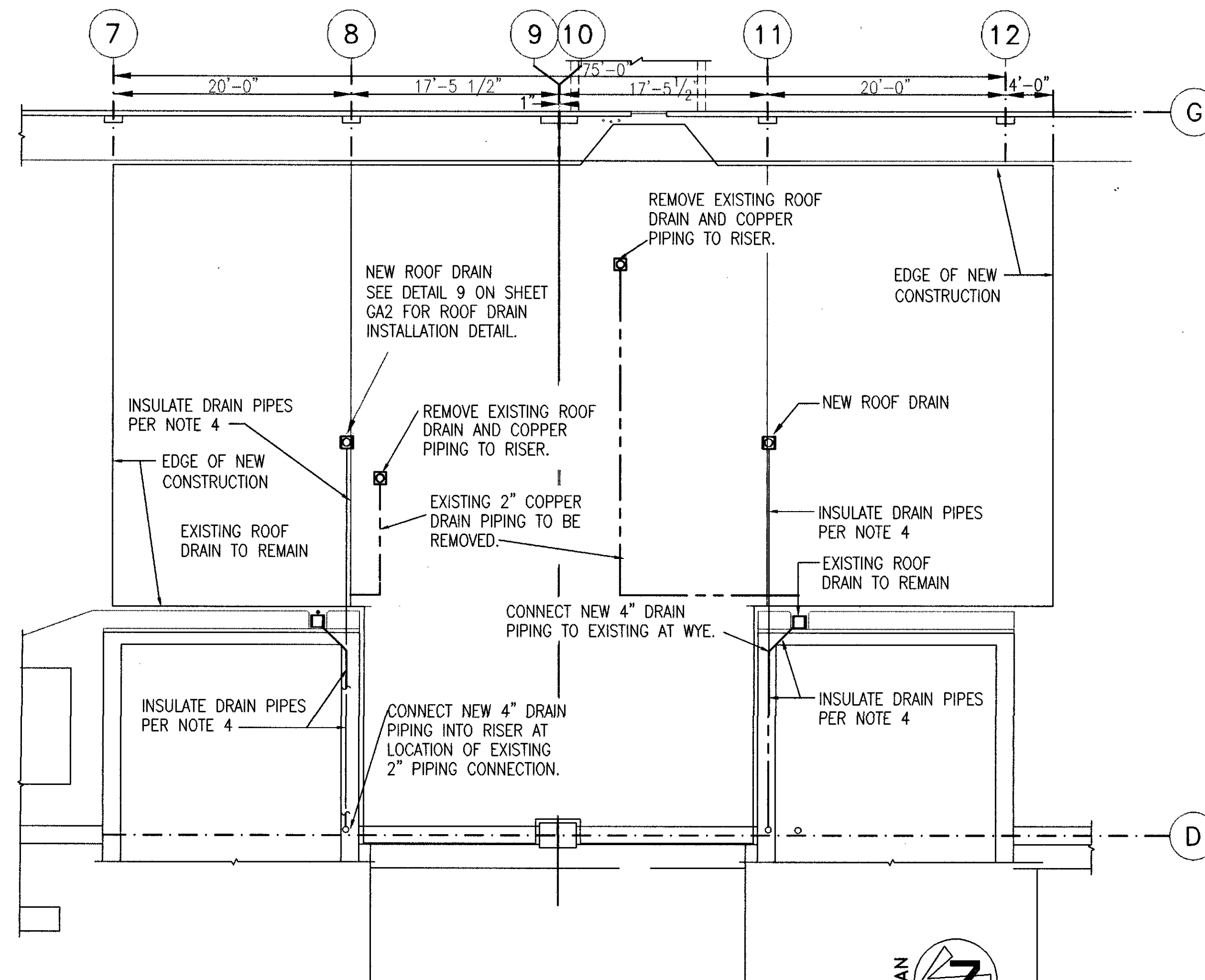
WALL ELEVATION
SECTIONS & DETAILS

sheet no.

GA5

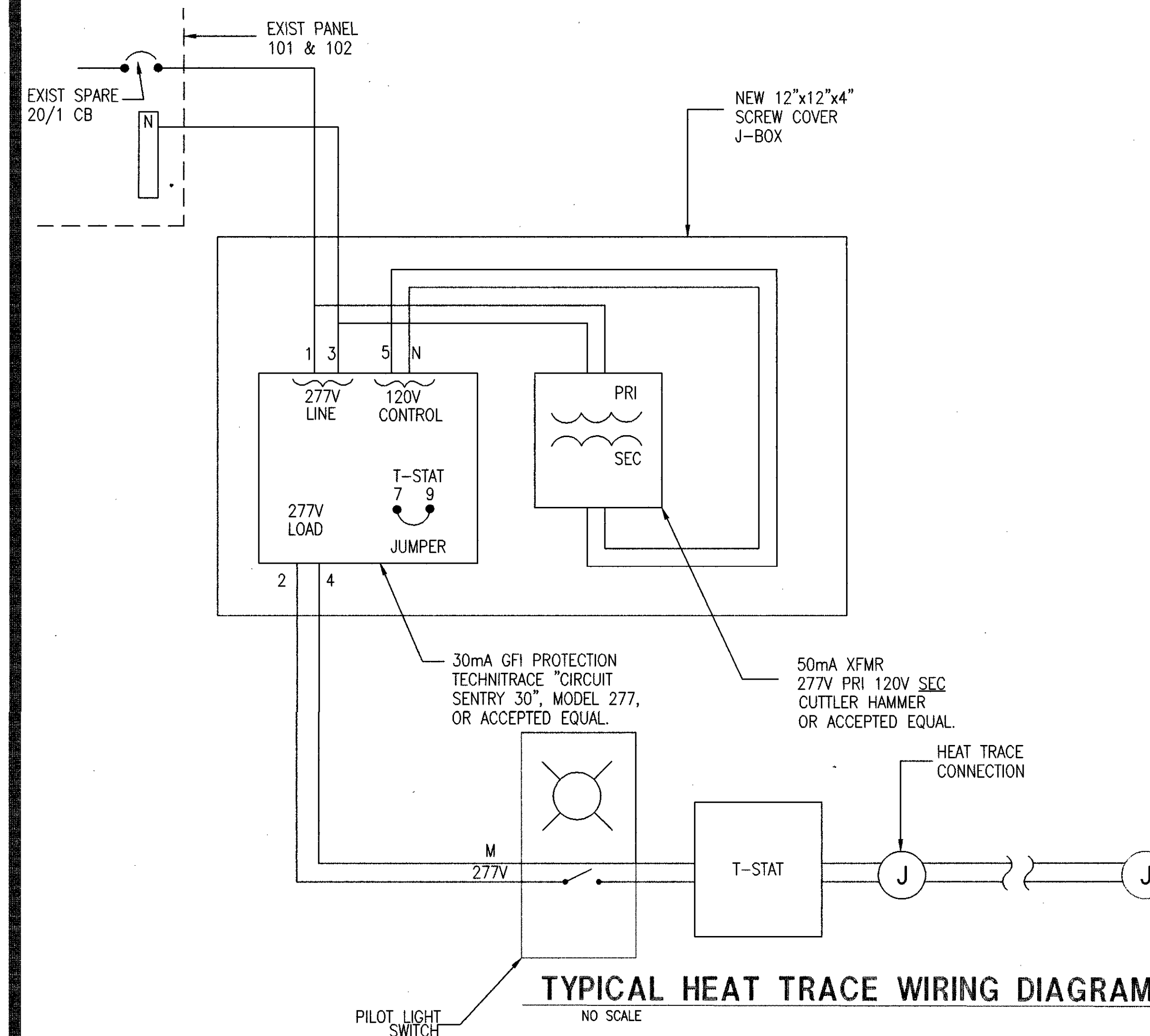
SPECIFICATIONS

- FURNISH ALL EQUIPMENT, MATERIAL AND LABOR TO PROVIDE COMPLETE AND OPERATING MECHANICAL SYSTEMS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH LATEST EDITION OF UPC, UBC, UMC, AS APPLICABLE.
- ROOF DRAIN PIPING SHALL BE HEAT TRACED WITH RAYCHEM CHEMELEX MODEL 88TV1 SELF LIMITING HEAT TRACE. INSTALL HEAT TRACE WITH A PITCH OF 22 IN. (1.3 FT OF HEAT TRACE PER FT. OF PIPE) PRIOR TO INSTALLATION OF INSULATION. MECH. CONTR. TO PROVIDE HEAT TRACE AND CONNECTORS, INSTALLATION BY ELEC. CONTR. PROVIDE T-STAT TO TURN ON HEAT TRACE AT 40°F.
- INSULATE HORIZONTAL ROOF DRAIN PIPING WITH 1" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER JACKET. PROVIDE HEAVY CORRUGATED ALUMINUM JACKET ON PIPE INSULATION IN ADDITION TO VAPOR BARRIER JACKET.
- NEW ROOF DRAIN PIPING SHALL BE GALVANIZED STEEL PIPE WITH VICTAULIC CONNECTIONS AND FITTINGS. HANGERS SHALL BE CLEVIS HANGERS OR SPLIT RING HANGERS EQUAL TO GRINNELL FIG. 104. HANGER SPACING SHALL BE NOT MORE THAN 10 FT. PROVIDE SWAY BRACING WHERE HANGER RODS ARE LONGER THAN 24". USE HIGH DENSITY INSULATION INSERTS AND 18 GA. METAL SHIELD AT PIPE SUPPORTS. FASTEN HANGERS AND SWAY BRACING TO EXISTING CONCRETE WITH 3/8"x2-1/2" EMBED EXPANSION ANCHOR (HILTI KWIK BOLT OR EQUAL).



MECHANICAL - TOP DECK FLOOR DRAIN PIPING PLAN

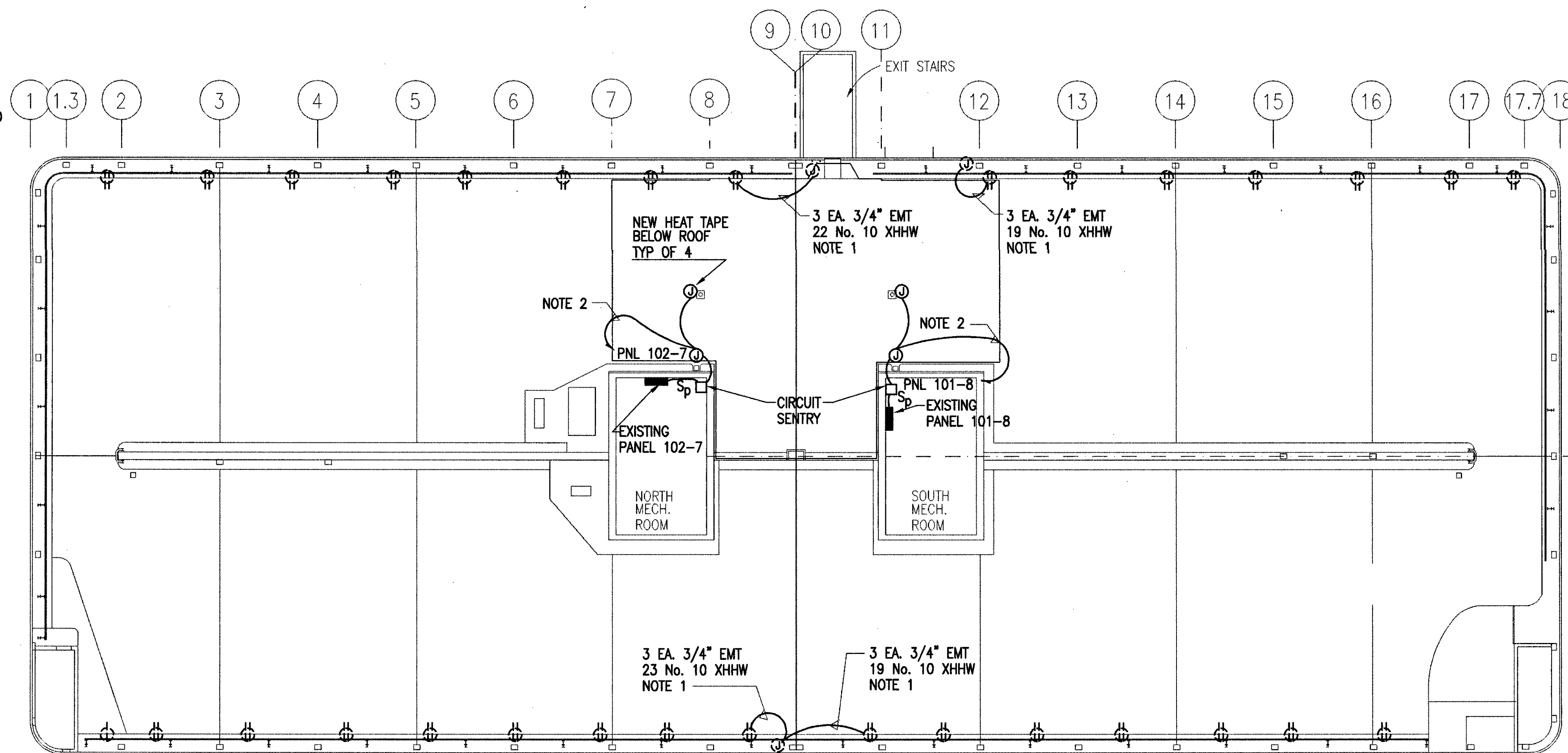
SCALE 1/8"=1'-0"



TYPICAL HEAT TRACE WIRING DIAGRAM

ELECTRICAL NOTES

- GUARDRAIL SHALL BE MOVED 10 INCHES TOWARDS INTERIOR. CUT BRANCH CIRCUIT WIRING AND DISCONNECT EXISTING CONDUITS AT THE J-BOXES AND REMOVE NO 10 CONDUCTORS IN RAIL MOUNTED CONDUIT DURING DEMOLITION. EXTEND CONDUITS AFTER RAIL HAS BEEN MOVED BETWEEN THE J-BOXES AND RAILS AND INSTALL NEW CONDUCTORS IN RAIL MOUNTED CONDUIT, QUANTITY AND SIZE AS NOTED.
- PROVIDE 2 NO. 12 TYPE XHHW IN 1/2 INCH EMT TO NEW ROOF DRAIN HEAT TAPES. CORE DRILL THROUGH FLOOR OF MECHANICAL ROOMS TO ACCESS HEAT TAPES. FEED THRU NEW PILOT LIGHT SWITCHES. REPLACE EXISTING 20A-1P SPARE CIRCUIT BREAKERS AT CIRCUIT NUMBERS INDICATED WITH NEW 30 MA GCI 20A-1P. INSULATED HEAT TAPE CONNECTORS SHALL BE FURNISHED BY DIVISION 15 AND INSTALLED BY DIVISION 16.
- DASHED LINES SHALL INDICATE EXISTING DEVICES TO REMAIN.



ELECTRICAL - ROOF PLAN

SCALE 1/16"=1'-0"

RECORD DRAWING

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SYMBOLS

- SINGLE RECEPTACLE
- DUPLEX RECEPTACLE
- JUNCTION BOX
- BRANCH PANEL
- PILOT LIGHT SWITCH
- BRANCH CIRCUIT WIRING, NUMBER OF CONDUCTORS AND CONDUITS AS NOTED
- BRANCH CIRCUIT HOME RUN TO PANELBOARD

Loflus Engineering Associates, Inc.
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STATE OF ALASKA DOT/PF
FAIRBANKS STATE PARKING GARAGE
ROOF DECK REPAIRS
PROJECT NO. 96-25-2-50

date: 5/10/96
drawn: MAS
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checked: EDR
revised:

MECHANICAL AND
ELECTRICAL DETAILS

sheet no.
M1/E1